

**MINUTES**  
**CITY COUNCIL REGULAR MEETING AND WORK SESSION**  
**G.L. Gilleland Council Chambers on 2<sup>nd</sup> Floor**  
**Monday, September 18, 2023**  
**5:00 P.M.**

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1. **CALL TO ORDER:** Mayor Eason called the meeting to order at 5:00 pm.
2. **ROLL CALL:** Present were Councilmember Mark French, Councilmember Caleb Phillips, Councilmember John Walden, Councilmember William Illg, City Attorney Kevin Tallant, City Manager Bob Bolz, Deputy City Clerk Tracy Smith, Public Works Director Trampas Hansard, Utility Director Jacob Barr, Stacy Harris representing Planning & Zoning, Downtown Development Director Amanda Edmondson and Finance Director Robin Gazaway.
3. **INVOCATION AND PLEDGE:** Invocation and pledge were led by Councilmember French.
4. **ANNOUNCEMENTS:** Mayor Eason reported that the Farmers Market was only open on Saturdays now through the end of October; the next food truck will be held on October 6, 2023 and will be the last one on Friday; the tree lighting, parade and Jingle Market will be held on November 18, 2023 and there will be food trucks there as well.
5. **APPROVAL OF THE AGENDA:** Motion to approve the agenda as presented made by M. French; second by C. Phillips. Vote carried unanimously in favor.
6. **PUBLIC INPUT:** No participation by the public.
7. **CONSENT AGENDA:** Motion to approve the consent agenda for the following items (a -g) made by J. Walden; second by W. Illg. Vote carried unanimously in favor.
  - a. Approve Minutes
    - Regular Meeting held August 21, 2023
    - Executive Session held August 21, 2023
  - b. Approve First Amendment to Intergovernmental Agreement for Law Enforcement
  - c. Approve Intergovernmental Agreement with Dawson County School Board for Extension of Disc Golf Course
  - d. Approve Agreement with Dawsonville History Museum for Special Purpose Grant Administration and Project Management
  - e. Approve 2024 Solid Waste Collection Service Agreement with Red Oak Sanitation
  - f. Approve Special Event with Alcohol – Bootleggers Bar and Grill, October 27-29, 2023
  - g. Approve Ratification of Utility Relocation Costs and Agreement on Shoal Creek Road
8. **EMPLOYEE RECOGNITION:** The Mayor and Council recognized Amanda Edmondson as the August Employee of the Month and service awards were presented to Stan Zaverukha and Steven McNeal for five years of service and Jacob Barr for 12 years of service.

**BUSINESS**

9. **ZSP-C2300063:** Atlanta Motorsports Park, LLC has petitioned to amend the site plan and the current stipulations; located at 20 Duck Thurmond Road (TMP 070 049 001). Public Hearing Dates: Planning Commission on Monday, August 14, 2023, and City Council Monday, August 21, 2023. City Council for a decision on September 18, 2023.

Planning and Zoning representative Stacy<sup>4</sup>Harris presented the request.

Councilmember Illg thanked the community and the Planning Commission, as well as staff and the applicant, for the work and input involved with making this decision. He stated the goal is to find a good compromise resulting in giving and taking from both sides.

Motion made by W. Illg to approve ZSP-C2300063 with stipulations as outlined in the attached Exhibit A; second by C. Phillips. Vote carried three in favor (Illg, Phillips, French) with one abstained (Walden).

10. **ANX-C2100043 and ZA-C2100043:** Allen Street Properties, LLC and B & K Turner Family, LLP have petitioned to annex into the city limits of Dawsonville tract 2 with 32.937 acres (amended application) tract known as a portion of TMP 093 004 001, located at Perimeter Road, with a request to rezone from County Zoning of RSR (Residential Sub Rural) and RA (Restricted Agriculture) to City Zoning of R3 (Single Family Residential). Public Hearing Dates: Planning Commission on September 13,

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2021 and City Council on October 4, 2021. Tabled indefinitely on April 18, 2022; On August 7, 2023 item was removed from table and placed on the August 21, 2023 agenda.

Planning and Zoning Admin Stacy Harris presented the request.

Motion to table ANX-C2100043 and ZA-C2100043 to the October 16, 2023 City Council meeting made by J. Walden; second by M. French. Vote carried unanimously in favor.

- 11. CONTINGENT APPROVAL OF ALCOHOL LICENSE FOR GRANDDADDY MIMM'S DISTILLING CO.:** Motion to approve the alcohol license as presented contingent upon State and Federal approval made by C. Phillips; second by J. Walden. Vote carried unanimously in favor.
- 12. 2023 COMPREHENSIVE PLAN UPDATE:** Motion to sign the letter of submission for the draft of the 2023 Comprehensive Plan to be sent to and reviewed by the Department of Community Affairs made by W. Illg; second M. French. Vote carried unanimously in favor.
- 13. REQUEST BID APPROVAL FOR SKATE PARK RELOCATION AND IMPROVEMENT:** Motion to approve the bid for the new skate park cement pad from PWG Concrete Construction, LLC in the amount of \$24,650.00 and the bid for the relocation of existing equipment and installation of new equipment from American Ramp Company (Sole Source Provider) in the amount of \$84,088.70 both to be paid out of SPLOST VII made by M. French; second by J. Walden. Vote carried three in favor (French, Walden, Illg) with one abstained (Phillips).

#### **WORK SESSION**

- 14. DISCUSSION OF PARKING ON CITY STREETS:** Public Works Director Trampas Hansard reported he has been receiving a lot of complaints concerning vehicles in subdivisions that are parked on sidewalks and streets and blocking sidewalks and streets. Attorney Kevin Tallant stated that if the City chooses to enforce these issues, it must be in the form of an ordinance and it must be very specific with the likelihood of turning over the enforcement to a towing and/or booting company. Mayor Eason stated the Council has in previous discussions recommended the HOAs develop laws to enforce parking issues; he asked Director Hansard if any of the HOAs have done so. Councilmember Walden would like Director Hansard to gather information from the HOAs about what they are doing to enforce parking. Councilmember Phillips agreed but would like an ordinance drawn up to prohibit parking on sidewalks. Councilmember French is concerned about public safety vehicles being able to navigate the subdivision roads if vehicles are parked illegally. Discussion occurred about the potential process of warnings and towing vehicles. Director Hansard has also been charged with gathering information from towing companies about pricing and procedures.
- 15. PROPOSED 2024 MEETING CALENDAR:** Mayor Eason presented the proposed calendar; the DDA will be discussing two of their meetings for May and November at their next scheduled meeting. The calendar will be presented at the next meeting for approval.

#### **STAFF REPORTS**

- 16. BOB BOLZ, CITY MANAGER:** City Manager Bolz stated that Adam Hazell will be at the October 2, 2023 meeting to present the Impact Fee recommendation. Bolz also reported there was only one leak adjustment in the amount of \$167.00. The year to date total is \$2,264.37 vs. last year's total this time being \$15,436.12.
- 17. ROBIN GAZAWAY, FINANCE DIRECTOR:** Finance Director Gazaway presented the financial reports representing fund balances and activity through August 31, 2023.

#### **EXECUTIVE SESSION**

At 5:34 p.m. a motion to close regular session and go into executive session for potential/pending litigation and personnel was made by J. Walden; second by W. Illg. Vote carried unanimously in favor.

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At 6:00 p.m. a motion to close executive session was made by M. French; second by C. Phillips. Vote carried unanimously in favor.

Motion to resume regular session was made by M. French; second by W. Illg. Vote carried unanimously in favor.

**ADJOURNMENT**

At 6:02 p.m. a motion to adjourn the meeting was made by J. Walden; second by C. Phillips. Vote carried unanimously in favor.

**Approved this 6<sup>th</sup> day of November 2023**

By: CITY OF DAWSONVILLE

*absent*

\_\_\_\_\_  
Mike Eason, Mayor

\_\_\_\_\_  
Caleb Phillips, Councilmember Post 1

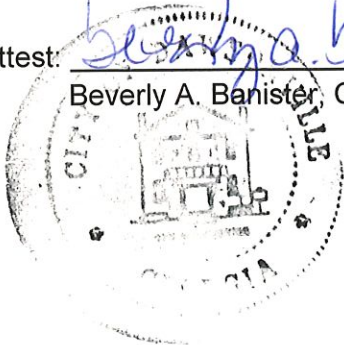
\_\_\_\_\_  
William Illg, Councilmember Post 2

\_\_\_\_\_  
John Walden, Councilmember Post 3

\_\_\_\_\_  
Mark French, Councilmember Post 4

Attest:

*Beverly A. Banister*  
\_\_\_\_\_  
Beverly A. Banister, City Clerk



STATE OF GEORGIA  
COUNTY OF DAWSON

AFFIDAVIT OF THE CITY OF DAWSONVILLE MAYOR AND COUNCIL

Mayor Michael Eason, Councilmember John Walden, Councilmember Caleb Phillips, Councilmember William Ilg, and Councilmember Mark French; being duly sworn, state under oath that the following is true and accurate to the best of their knowledge and belief:

1. The City of Dawsonville Council met in a duly advertised meeting on September 18, 2023.
2. During such meeting, the Board voted to go into closed session.
3. The executive session was called to order at 5:34 p.m.
4. The subject matter of the closed portion of the meeting was devoted to the following matter(s) within the exceptions provided in the open meetings law: (check all that apply)

Consultation with the City Attorney or other legal counsel to discuss pending or potential litigation, settlement, claims, administrative proceedings, or other judicial actions brought or to be brought by or against the City or any officer or employee or in which the City or any officer or employee may be directly involved as provided in O.C.G.A. § 50-14-2(1);

Discussion of tax matters made confidential by state law as provided by O.C.G.A. § 50-14-2(2) and \_\_\_\_\_;

Discussion of future acquisition of real estate as provided by O.C.G.A. § 50-14-3(b)(1);

Discussion or deliberation on the appointment, employment, compensation, hiring, disciplinary action or dismissal, or periodic evaluation or rating of a City officer or employee as provided in O.C.G.A. § 50-14-3(b)(2);

Other \_\_\_\_\_ as provided in: \_\_\_\_\_.

This 18<sup>th</sup> day of September 2023; By the City of Dawsonville, Mayor and Council:

  
Mike Eason, Mayor

  
Caleb Phillips, Councilmember Post #1

  
William Ilg, Councilmember Post #2

  
John Walden, Councilmember Post #3

  
Mark French, Councilmember Post #4

Sworn to and subscribed before me this  
18 day of September, 2023.

  
Signature, Notary Public

My Commission expires: August 22, 2025



## **ZSP C2300063: APPROVED STIPULATIONS**

1. Private driving instruction and exhibition facility shall mean a facility containing a paved roadway two or more miles in length (the "driving course") the use of which is limited to:
  - a) Providing instruction and training in safe driving skills, adverse weather driving techniques, or high performance/competition driving
  - b) The exhibition, maintenance, and operation of vintage or specialty motor vehicles
  - c) Similar activities which are recreational or educational in nature
  - d) A private driving instruction, racing and exhibition facility
  - e) Accessory clubhouse, rental garages, retail and permitted commercial or industrial uses serving the primary driving course operations
  - f) Garage Condos (Approved September 9, 2019)
  - g) 46 Race Cottages
  - h) Ability to allow up to 25% of owners to rent Airbnb, VRBO, etc. condos and race cottages
2. The Applicant/Owner, their successors and assigns by application for and acceptance of this rezoning shall have conclusively deemed to have agreed to indemnify the City and its agents and representatives from all liability including personal injuries and property damage coming out of the extensive, use, ownership, or operation of the Motorsports Park.
3. When the driving course is not in use, it shall be secured in such a manner to prevent its unauthorized use.
4. Any Public Address (PA) system shall be below 90 DBA at 50 feet from the speaker.
5. The driving course shall be enclosed by a fence of a height and construction sufficient to preclude unauthorized persons from gaining access to the driving course from the main entrance, hot and cold pit areas.
6. When the car/motorcycle driving course is in use at speeds more than 45 mph, the operator shall, at his/her expense, onsite, a fully equipped ambulance with EMT. The EMT's shall be licensed under the laws of the State of Georgia.
7. Rental garages, Club House, rental buildings, and any other permitted commercial/industrial building shall be placed strategically to reduce sound levels. The location of the buildings shall be approved by the City Planning Director.
8. There shall be fifty (50) foot or greater undisturbed buffers along all streams.

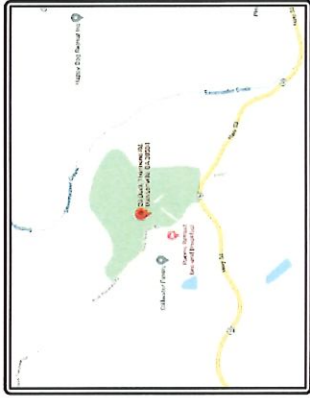
9. Where the property runs along Duck Thurmond Road, buildings and existing Acoustiblok or similar quality sound fence shall be placed to reduce the sound levels and keep as much vegetative cover as possible on the approved site plan.
10. There shall be a buffer of between one hundred (100) feet and two hundred (200) feet to reduce sound levels as designed by Owner's sound engineer to meet the requirements of Condition 17. The buffer shall be around the perimeter of the property and shall be undisturbed except to permit an entrance road to the subject property, the construction of sound mitigation measures and/or the installation of any utilities. This buffer shall be planted in any area that is not visually impervious to a level approved by the City Planning Director in order to prevent any soil erosion.
11. Exterior lighting fixtures shall be of the box type and situated so that light only goes downward and shall not be more than twenty-five feet high and shall be designed so to minimize glare and light spillage to not more than one (1) foot candle along the interior buffer line of the subject property. With the exception of the kart lighting outlined in condition 14b.
12. There will be no grandstand(s) constructed on the property.
13. All signs at property lines will meet current regulations. Atlanta Motorsports Park will be allowed two signs on the property. The existing Atlanta Motorsports Park sign is approved and placed at the entrance on Duck Thurmond Road. The second sign will be allowed on highway 53 on the berm of the retention pond. The second sign will be two sided and follow the current sign and size regulations allowed under the CIR designation.
14. Hours of operation are limited to 7:00 a.m. to 6:00 p.m. from November 1 to March 31. From April 1 to October 31, the hours are limited to 7:00 a.m. (or one (1) hour after sunrise, whichever is earlier) to 8:00 p.m. (or one (1) hour after sunset, whichever is earlier). No on track activity before 8 a.m.
  - a) Go-Kart Track extended to 9:00 p.m. Monday through Thursday, 11:00 p.m. Friday and Saturday, and 8:00 p.m. on Sunday.
  - b) The lighting for the go-kart track is LED only, and be a similar system/brand design, light spill, pole height, etc. as the MUSCO Lighting System Kart Spill Lighting Plan Date Oct 7th, 2022, and Kart Lighting Design and Details dated August 16, 2022.
  - c) Military and Law Enforcement training and events are allowed after hours without noise with a 45-day notice to the City Manager.
15. No type of vehicle other than maintenance vehicles, military or law enforcement may run on the track before or after the hours listed above.

16. Facility to be restricted to site plan as submitted as to the use of the property, the type of structures allowed and the general placement of the structure as the same may be revised by the Owner's sound engineer to meet the sound requirements of Condition 17. Any minor adjustments, changes or additions must be approved by the Planning Commission. Any major adjustments must be approved by the City Council. The decision of what is major, or minor is to be made at the discretion of the Planning Director and the City Manager with Mayor and City Council being copied on the correspondence.
17. Sound monitoring meters shall be installed in four locations around the perimeter of the property at the property line on the outside edge of the buffer at locations as shown on the approved site plan. These meters monitor in a unified fashion, if multiple meters read above the sound limits at the same time and same day, it does not result in multiple fines, but one fine per incident. If one meter reads above the sound limit and the others do not, it does result in a fine. In addition, the Owner shall install one sound meter 50 feet from the outside track pavement edge to monitor track sound levels such that they remain below 98 DBA LEQ per vehicle at all times. Only Low Noise Go-Karts may be operated on the track and their noise level may not exceed 92 DBA LEQ. The Owner, its successors and assigns shall operate the sound monitoring meters at all times that the track is operating. As a condition of continued operation pursuant to their business license, sound levels at the four locations outside the existing sound fence as depicted on the approved site plan shall not exceed 63 DBA LEQ (16). Method of measurement: Measurements shall be made with a calibrated sound level meter in good condition, meeting the requirements of a Type 1 or Type 2 meter, as specified in ANSI Standards, section 1.4 – 1971. For the purpose of this section, a sound level, a sound level meter shall contain at least an "A" weighting network, and both fast and slow response capability. Failure to comply with this condition shall result in a citation for watch offense and upon conviction a fine as set by the City Judge of up to \$1,000 per violation. Upon three or more convictions for failure to comply with this condition during any calendar year, the Mayor and Council may revoke the business license and the ability of Owner, and its successors and assigns to operate the facility as a motorsports park complex.
18. All infrastructures shall be designed and installed as required by the Development regulations in force at the time the Owner seeks permits for development.
19. Applicant may apply for a special event permit on a case by case basis which would require City Council approval to conduct racing events with different performance standards.
20. Approval of Master Site Plan page C201 created by Civilogistix dated October 31, 2022, latest revision May 30, 2023.



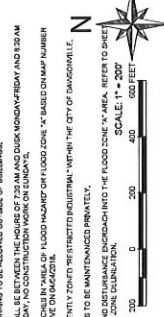






**GENERAL NOTES**

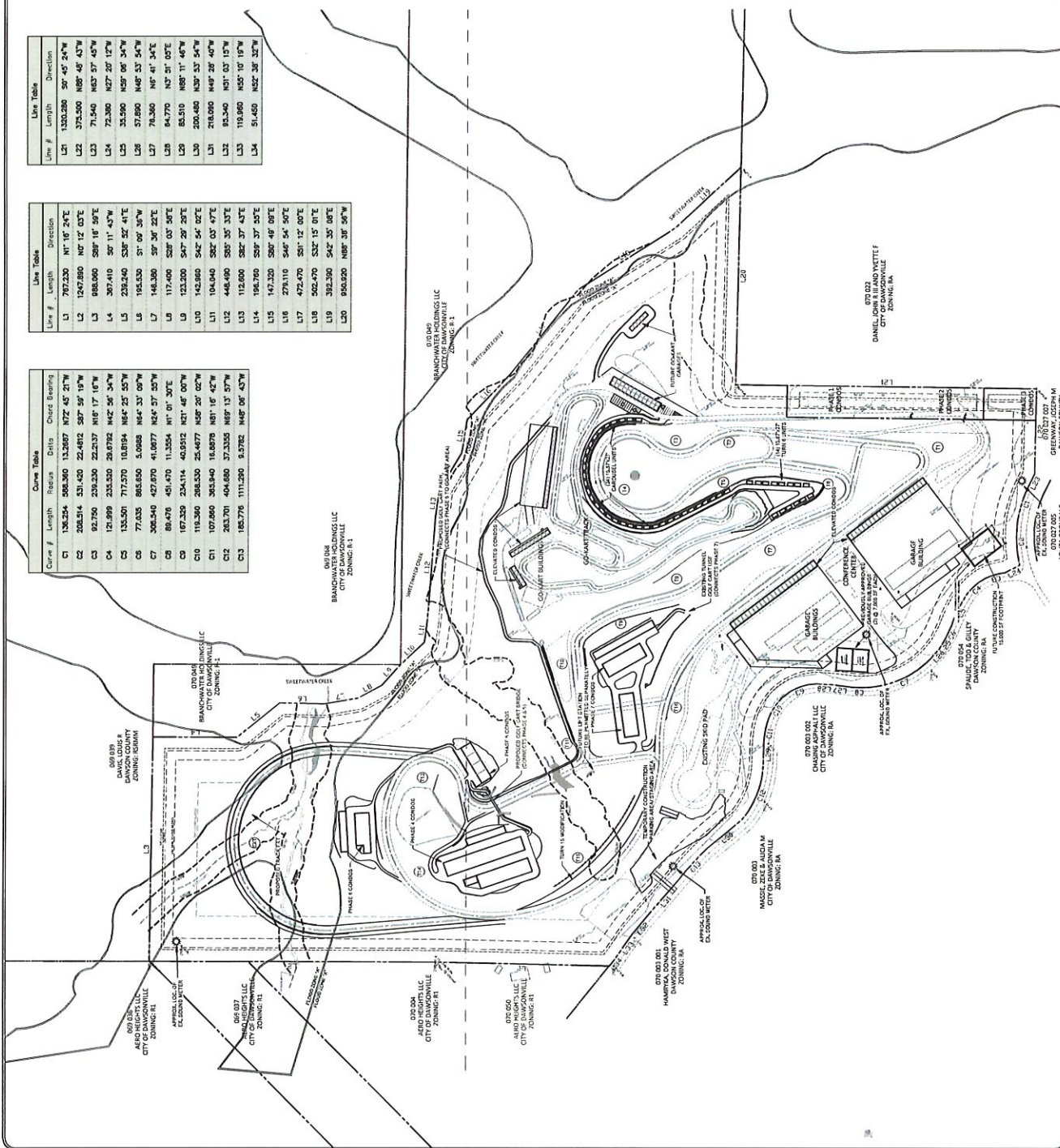
1. ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF DAMSONVILLE STATE OF GA REGULATIONS AND CODES, AS WELL AS ALL LOCAL STANDARDS.
2. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND EXISTING INFORMATION TAKEN FROM A SURVEY BY LAWRENCE J. HARRIS, P.E., CIVIL ENGINEER, 10300 WOODHURST DR., SUITE 101, DAMSONVILLE, GA 30534, DATED 02-24-2021 IS RECORDED IN BOOK 65-26-17.
3. ACCORDING TO INITIAL DEVELOPMENT SURVEY PREPARED BY GRANT BISHOP & ASSOCIATES, DIVISION OF THE CITY OF DAMSONVILLE, THE SUBJECT PROPERTY OF THIS SURVEY HAS BEEN DESIGNATED TO RESIDENT ZONE "A", WHICH IS PART OF THE CITY OF DAMSONVILLE ZONE "A".
4. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE "LEAST" DIMENSIONS. FOR ACTUAL DIMENSIONS, THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS. DIMENSIONS TO CURB, CURBS OUTTER ARE TO THE FACE OF THE CURB.
5. SITE WORK CONTRACTORS RESPONSIBLE FOR WORK TO WITHIN 10' OF THE BUILDING, SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF DAMSONVILLE.
6. ALL UTILITIES SHOWN ON THIS PLAN ARE TO BE MAINTAINED AND NOT TO BE MOVED, REMOVED, OR DELETED UNLESS INDICATED OTHERWISE ON THE PLAN WITH THE SPECIFIC WORK TO BE DONE.
7. CONTRACTOR IS TO NOTIFY CITY INSPECTORS 24 HOURS PRIOR TO THE START OF CONSTRUCTION.
8. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS, INCLUDING A CITY UTILTY ENCROACHMENT PERMIT.
9. ALL SIGNAGE SHALL COMPLY WITH THE CITY OF DAMSONVILLE ZONING ORDINANCE. A SEPARATE SIGN PERMIT IS REQUIRED.
10. CONSTRUCTION TRAILER USED ON-SITE SHALL BE PERMITTED THROUGH THE CITY OF DAMSONVILLE ZONING ORDINANCE. THE TRAILER SHALL BE MAINTAINED IN GOOD REPAIR AND SHALL NOT BE STORED WITHIN THE SITE. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN AREAS WHICH RESTRICT SIGHT DISTANCE.
11. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN DESIGNATED DRIVEWAYS AND SHALL NOT BE STORED WITHIN THE SITE. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN AREAS WHICH RESTRICT SIGHT DISTANCE.
12. THE EXACT LOCATION OF HIDEAWAY RAMPS SHALL BE COORDINATED WITH THE CITY OF DAMSONVILLE. HIDEAWAY RAMPS SHALL BE INSTALLED PER ADA STANDARDS. ADDITIONALS TO HAVE MAX 5% SLOPE UP AND MAX CROSS SLOPE OF 2%.
13. ALL SIDEWALKS ARE TO BE INSTALLED PER ADA STANDARDS. ADDITIONALS TO HAVE MAX 5% SLOPE UP AND MAX CROSS SLOPE OF 2%.
14. CONTRACTOR SHALL NOTIFY ENGINEER SHOULD ANY FIELD CONDITIONS BE NOTED THAT DIFFER FROM THE SURVEY.
15. SITE CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS INDICATING ALL CHANGES AND CORRECTIONS. LOCATION OF ALL UTILITIES SHALL BE SHOWN AS WELL AS ALL CURBS, THURGOOD ROAD, IN THE CITY OF DAMSONVILLE, DAMSON COUNTY, STATE OF GEORGIA.
17. OWNERS INFORMATION: JERRYBY PORTER, 20 DUCK THURGOOD RD, DAMSONVILLE, GA 30534. PHONE: (404) 333-0400. CONTACT: JERRYBY PORTER.
18. ENGINEER: CIVIL CORTELL, LLC, 300 SUN VALLEY DRIVE, ROSWELL, GA 30076. PHONE: (404) 594-4403. CONTACT: DAVID WHITE, CIVILCORTELL.COM.
19. BUILDING LOCATION TO THE OUTSIDE FACE OF BLOCK. CONTRACTOR TO COORDINATE AND VERIFY EXISTING UTILITIES AND SERVICES WITH ARCHITECTURAL DRAWINGS. ALL UTILITIES AND SERVICES TO BE AVOIDED OR PROTECTED. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF DAMSONVILLE AND DAMSON COUNTY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF DAMSONVILLE AND DAMSON COUNTY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF DAMSONVILLE AND DAMSON COUNTY.
20. NOTIFY CITY OF DAMSONVILLE 24 HOURS BEFORE BEGINNING PHASE OF CONSTRUCTION. (PRE-CONSTRUCTION MEETING).
21. ALL ZONING BUFFERING SHALL BE IDENTIFIED WITH CHANCE FOUR-FOOT PRE-GAME FENCING PRIOR TO ANY LAND DISTURBANCE.
22. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DAMSONVILLE ZONING ORDINANCE. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DAMSONVILLE ZONING ORDINANCE. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DAMSONVILLE ZONING ORDINANCE.
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24. WORK-HOURS SHALL BE BETWEEN THE HOURS OF 7:30 AM AND DARK MONDAY-FRIDAY AND 1:30 AM AND DARK ON SATURDAY. NO CONSTRUCTION WORK ON SUNDAY.
25. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DAMSONVILLE ZONING ORDINANCE. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DAMSONVILLE ZONING ORDINANCE. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DAMSONVILLE ZONING ORDINANCE.
26. INTERIOR STREETS TO BE MAINTAINED PRIVATELY.
27. THE CITY OF DAMSONVILLE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PUBLIC SIDEWALKS AND CURBS. THE CITY OF DAMSONVILLE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PUBLIC SIDEWALKS AND CURBS. THE CITY OF DAMSONVILLE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PUBLIC SIDEWALKS AND CURBS.



Line #	Length	Direction
L1	1330.280	S87°45'24"W
L2	373.500	N85°48'43"W
L3	71.540	N63°37'45"W
L4	72.360	N27°20'12"W
L5	32.590	N29°06'34"W
L6	57.690	N48°53'54"W
L7	74.360	N47°41'34"E
L8	84.770	N3°31'10"E
L9	85.510	N85°11'46"W
L10	200.400	N87°33'54"W
L11	210.000	N49°28'40"W
L12	92.340	N31°03'15"W
L13	119.960	N55°10'15"W
L14	51.450	N22°38'32"W

Line #	Length	Direction
L1	797.230	N1°16'24"E
L2	1247.890	N0°12'03"E
L3	988.060	S89°18'59"E
L4	397.410	S0°11'43"W
L5	233.240	S38°32'41"E
L6	195.530	S1°09'30"W
L7	148.360	S9°36'22"E
L8	117.400	S28°03'50"E
L9	123.500	S47°29'29"E
L10	103.600	S42°54'02"E
L11	104.040	S82°03'47"E
L12	448.460	S85°35'37"E
L13	112.000	S82°37'43"E
L14	186.760	S39°37'55"E
L15	142.320	S85°46'08"E
L16	279.110	S46°54'50"E
L17	472.470	S81°12'00"E
L18	502.470	S32°15'01"E
L19	392.390	S42°35'08"E
L20	950.920	N89°38'56"W

Curve #	Length	Radius	Delta	Chord Bearing
C1	136.294	5863.360	13.2687	N72°45'21"W
C2	208.514	3311.450	22.4812	S87°59'19"W
C3	92.750	239.230	22.2337	N18°17'16"W
C4	121.999	239.230	28.6792	N42°56'34"W
C5	135.501	717.570	10.8194	N84°25'55"W
C6	77.035	865.650	5.0688	N84°33'09"W
C7	308.540	422.870	41.8977	N64°37'55"W
C8	86.476	451.470	11.3264	N1°01'30"E
C9	119.329	234.174	40.8912	N31°46'00"W
C10	167.360	266.530	25.4677	N59°20'02"W
C11	107.660	305.840	16.8678	N81°16'42"W
C12	263.701	404.660	37.3359	N59°13'57"W
C13	185.776	1111.290	9.2782	N48°06'43"W



THIS PLAN IS THE PROPERTY OF CIVIL LOGISTICS, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CIVIL LOGISTICS, INC.



AMP ASPHALT PAVING SYMBOLS LEGEND	
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	GRAVEL
	SAND
	STONE
	TOPSOIL
	EROSION CONTROL

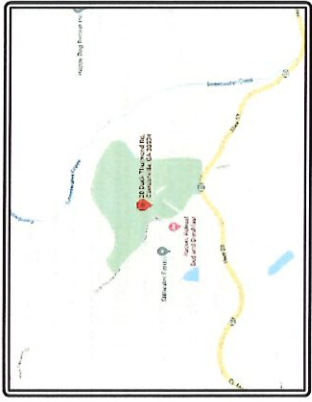
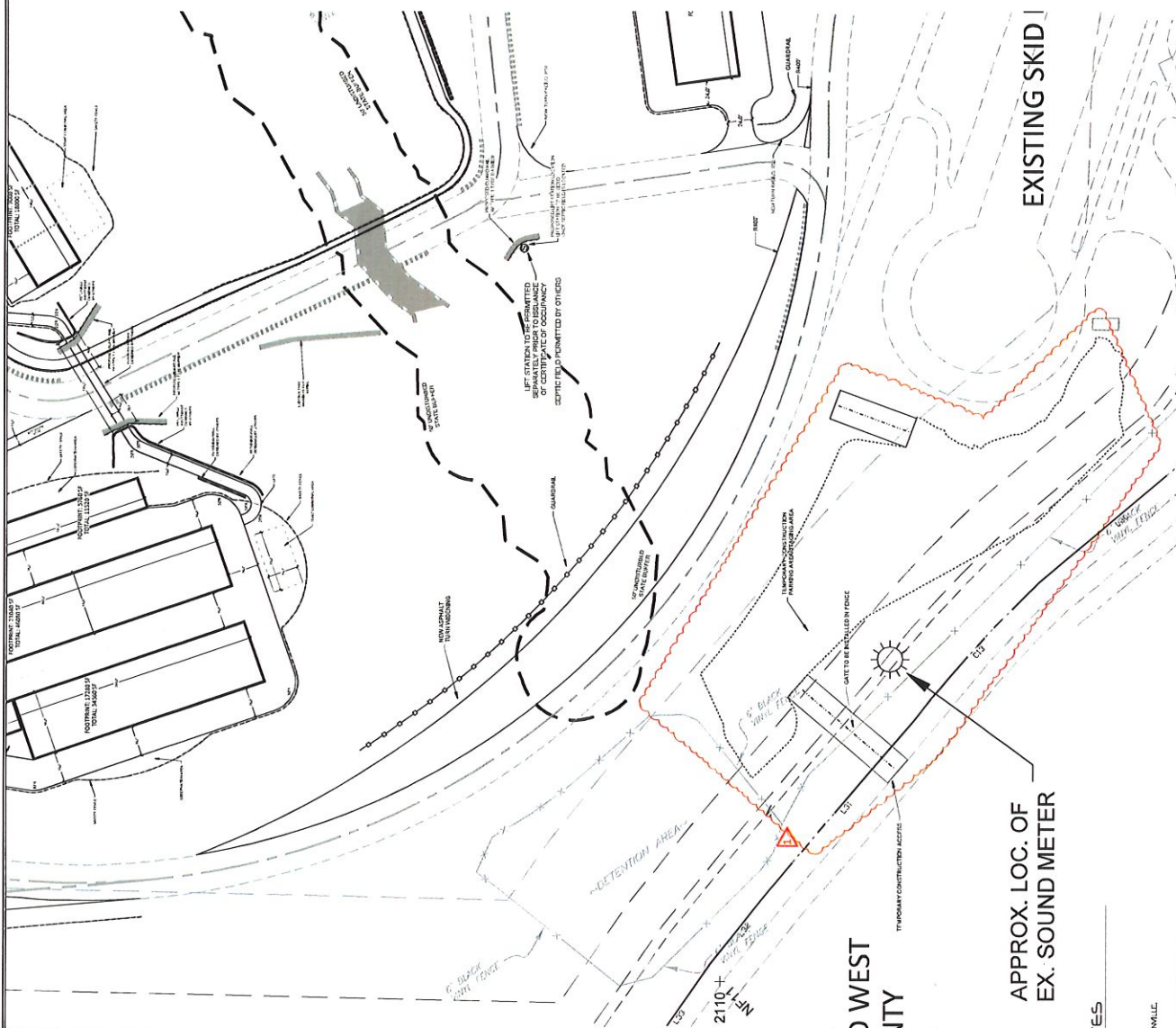
HTS LLC  
SONVILLE  
: R1

**070 003 001**  
**HAMRYKA, DONALD WEST**  
**DAWSON COUNTY**  
**ZONING: RA**

APPROX. LOC. OF  
EX. SOUND METER

**LIGHTING NOTES**

1. SITE LIGHTING NOT INCLUDED IN PLAN SET.
2. SITE LIGHTING TO BE DESCRIBED BY OTHERS.
3. SITE LIGHTING TO BE PERMITTED THROUGH CITY OF DAWSONVILLE.



**GENERAL NOTES**

1. ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF DAWSONVILLE STATE OF GA REGULATIONS AND CODES, AS WELL AS ALL OSHA STANDARDS.
2. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND EROSION INFORMATION TAKEN FROM A SURVEY DATED 08/13/2021 BY CIVILLOGISTICS, INC., 500 SUN VALLEY DRIVE, STE 113, ROSWELL, GA 30076. (404) 594-4403 - CIVILLOGISTICS.COM
3. ACCORDING TO INITIAL DEVELOPMENT SURVEY PREPARED BY GRANT SHERID & ASSOCIATES, DATED JUNE 2008, PORTIONS OF THE SUBJECT PROPERTY OF THIS SURVEY HAS BEEN ASSIGNED TO ROSSER CONC, WHICH IS INSIDE THE LIMITS OF THE "UP" FLOOD ZONE.
4. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE "LEASE" DIMENSIONS. FOR ACTUAL DIMENSIONS OF THE BUILDING, THE CONTRACTOR SHALL CONTACT THE LEASOR.
5. SITE WORK CONTRACTOR IS RESPONSIBLE FOR WORK TO WITHIN 10' OF THE BUILDING. ALL DIMENSIONS SHOWN ON THIS PLAN ARE TO THE FACE OF THE UNFINISHED EXTERIOR WALLS UNLESS OTHERWISE NOTED.
6. CONTRACTOR SHALL NOTIFY CITY INSPECTORS 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
7. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS, INCLUDING GA DOT UTILITY ENCROACHMENT PERMIT.
8. ALL STORAGE SHALL COMPLY WITH THE CITY OF DAWSONVILLE ZONING ORDINANCE. A SEPARATE SIGN PERMIT IS REQUIRED.
9. CONSTRUCTION TRAILERS USED ON SITE SHALL BE PERMITTED THROUGH THE CITY OF DAWSONVILLE ONLY IF THEY ARE REGISTERED AND INSURED AS REQUIRED BY THE CITY.
10. CONSTRUCTION EQUIPMENT SHALL NOT BE STORED IN RESIDUAL DRIVEWAYS AND MUST BE STORED WITHIN THE SITE. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN AREAS WHICH RESTRICT SIGHT DISTANCE.
11. THE EXACT LOCATION OF HATCHWORK MARKS SHALL BE COORDINATED WITH THE ENGINEER AND CONTRACTOR. ALL HATCHWORK SHALL BE PERMITTED TO BE APPLIED TO APPLICABLE SIDEWALK, ACCESSIBLE ROUTE, AND DRIVEWAYS.
12. ALL SIDEWALKS ARE TO BE INSTALLED PER ADA STANDARDS. SIDEWALKS TO HAVE MAX SLOPE OF 2% AND MAX CROSS SLOPE OF 2%.
13. CONTRACTOR SHALL NOTIFY ENGINEER SHOULD ANY FIELD CONDITIONS BE NOTED THAT DIFFER FROM THE SURVEY.
14. ALL CONTRACTOR SHALL FURNISH VERTICAL DRAWINGS INDICATING ALL CHANGES AND CORRECTIONS TO THE SURVEY. ALL CHANGES SHALL BE MADE TO THE SURVEY AND APPROVED BY THE CITY OF DAWSONVILLE, DAWSON COUNTY, STATE OF GEORGIA.
15. OWNER INFORMATION: JERRY PORTER, 20 DICK THURMOND RD, DAWSONVILLE, GA 30034, PHONE (601) 303-0400, CONTACT: JERRY PORTER.
16. ENGINEER: CIVIL LOGISTICS, LLC, 500 SUN VALLEY DRIVE, ROSWELL, GA 30076, PHONE (404) 594-4403, CONTACT: DAVID WHITE, CIVILLOGISTICS.COM
17. BUILDING LOCATION IS TO THE CENTER FACE OF BLOCK. CONTRACTOR TO COORDINATE AND VERIFY EXISTING FOUNDATION AND EXISTING ARCHITECTURAL DIMENSIONS.
18. ALL DIMENSIONS SHOWN ON THIS PLAN ARE TO THE FACE OF THE UNFINISHED EXTERIOR WALLS UNLESS OTHERWISE NOTED.
19. ALL DIMENSIONS SHOWN ON THIS PLAN ARE TO THE FACE OF THE UNFINISHED EXTERIOR WALLS UNLESS OTHERWISE NOTED.
20. CITY OF DAWSONVILLE PERMITS SHALL BE OBTAINED 24 HOURS BEFORE BEGINNING PHASE OF CONSTRUCTION. (770) 270-2020.
21. ALL ZONING BUFFERS SHALL BE IDENTIFIED WITH ORANGE FOUR-FOOT TREE-LIKE FENCING PRIOR TO ANY LAND DISTURBANCE.
22. PERMITS SHALL BE OBTAINED 24 HOURS BEFORE BEGINNING PHASE OF CONSTRUCTION. (770) 270-2020.
23. ALL DIMENSIONS SHOWN ON THIS PLAN ARE TO THE FACE OF THE UNFINISHED EXTERIOR WALLS UNLESS OTHERWISE NOTED.
24. ALL DIMENSIONS SHOWN ON THIS PLAN ARE TO THE FACE OF THE UNFINISHED EXTERIOR WALLS UNLESS OTHERWISE NOTED.
25. NO OVERNIGHT PARKING TO BE ALLOWED OUTSIDE OF BUILDING.
26. WORK-ON-DE shall BE BETWEEN THE HOURS OF 7:30 AM AND DARK MONDAY AND 8:30 AM AND DARK ON SATURDAY. NO CONSTRUCTION WORK ON SUNDAY.
27. THE SITE IS CURRENTLY ZONED RESTRICTED INDUSTRIAL WITHIN THE CITY OF DAWSONVILLE.
28. INTERIOR STAIRS TO BE MANUFACTURED PANEL SET.
29. ALL DIMENSIONS SHOWN ON THIS PLAN ARE TO THE FACE OF THE UNFINISHED EXTERIOR WALLS UNLESS OTHERWISE NOTED.

**C2022**

21320

OCTOBER 31, 2022

DAWSON COUNTY  
05-23-23



**CIVILLOGISTICS**  
500 SUN VALLEY DRIVE, STE 113, ROSWELL, GA 30076  
(404) 594-4403 - CIVILLOGISTICS.COM

**SITE PLAN: TURN IS**  
20 DICK THURMOND RD  
DAWSONVILLE, GA 30034

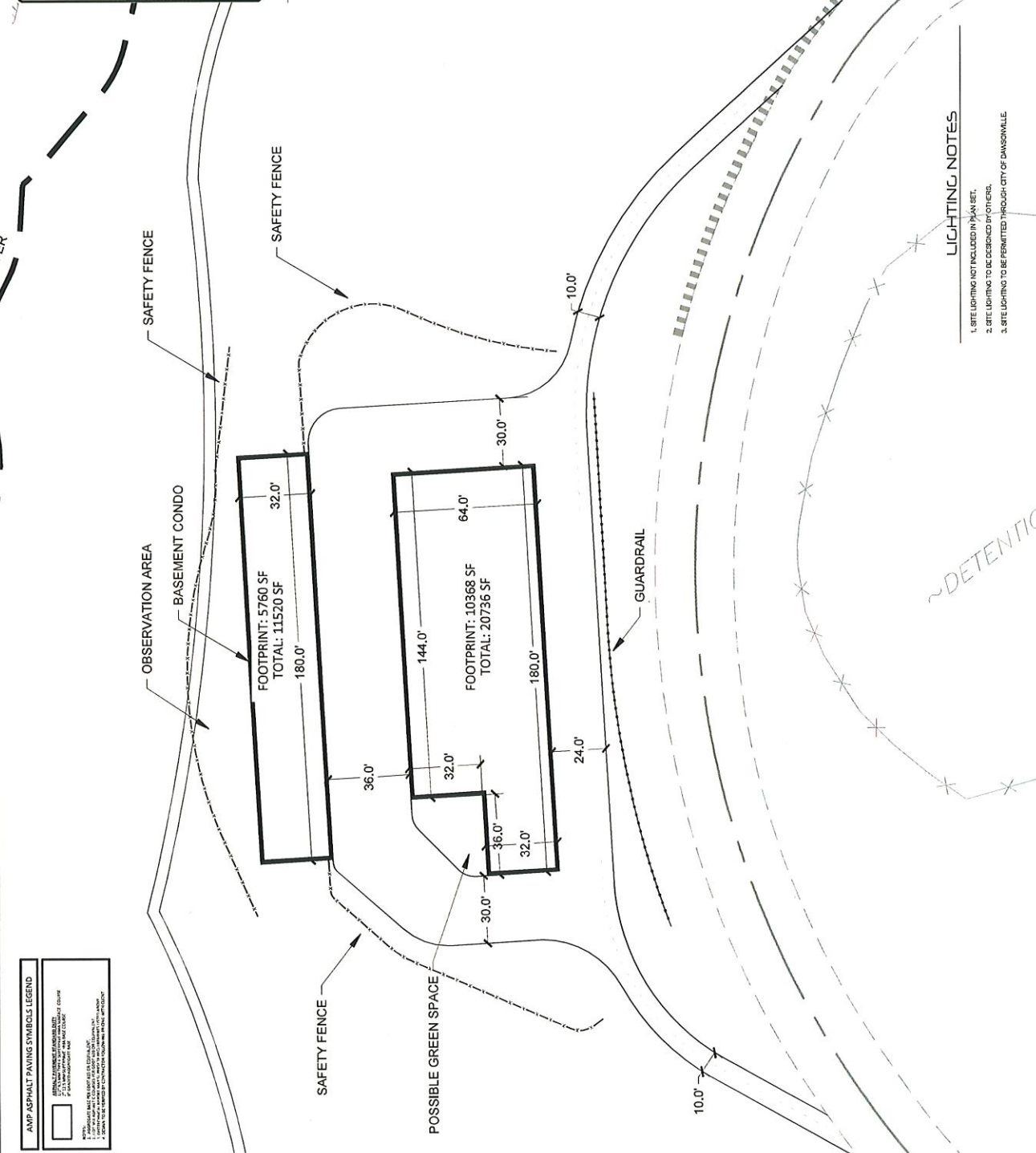






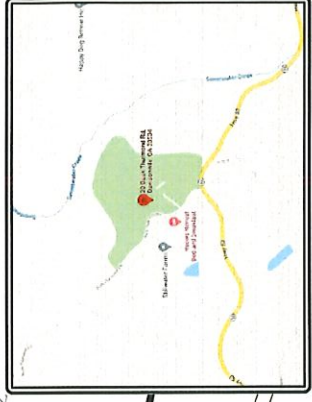
**AMP ASPHALT PAVING SYMBOLS LEGEND**

	AMP ASPHALT PAVING
	OBSERVATION AREA
	BASEMENT CONDO
	SAFETY FENCE
	POSSIBLE GREEN SPACE
	GUARDRAIL



**LIGHTING NOTES**

1. SITE LIGHTING NOT INCLUDED IN PLAN SET.
2. SITE LIGHTING TO BE DESIGNED BY OTHER.
3. SITE LIGHTING TO BE PERMITTED THROUGH CITY OF DAWSONVILLE.



**GENERAL NOTES**

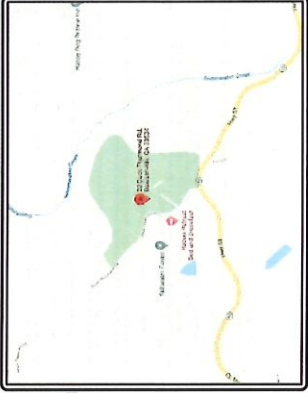
1. ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF DAWSONVILLE STATE OF GA REGULATIONS AND CODES, AS WELL AS ALL OSHA STANDARDS.
2. SITE BOUNDARY, COORDINATE, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY CONDUCTED BY CIVILICOLISTIX INC. ON 08/14/2024. REFERENCED DRAWING: 24-001-11.
3. ACCORDING TO INITIAL DEVELOPMENT SURVEY PREPARED BY GRANT SHERIDAN & ASSOCIATES, INC. ON 08/14/2024, THE EXISTING SITE IS ZONED R-1. THE PROPOSED DEVELOPMENT IS ZONED R-1. THE PROPOSED DEVELOPMENT IS ZONED R-1.
4. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE "LEASE" DIMENSIONS. FOR ACTUAL DIMENSIONS, REFER TO THE ARCHITECTURAL PLANS. DIMENSIONS TO CONC CURB & OUTER ARE TO FACE OF CURB.
5. SITE WORK CONTRACTOR IS RESPONSIBLE FOR WORK TO WITHIN 50' OF THE BUILDING. ANY WORK BEYOND THIS DISTANCE SHALL BE PERMITTED THROUGH THE CITY OF DAWSONVILLE PLANNING AND ZONING DEPARTMENT.
6. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS, INCLUDING A DOT UTILITY ENCROACHMENT PERMIT.
7. CONTRACTOR TO NOTIFY CITY INSPECTORS 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
8. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS, INCLUDING A DOT UTILITY ENCROACHMENT PERMIT.
9. ALL SIGNAGE SHALL COMPLY WITH THE CITY OF DAWSONVILLE ZONING ORDINANCE. A SEPARATE SIGN PERMIT IS REQUIRED.
10. CONSTRUCTION EQUIPMENT SHALL BE PERMITTED THROUGH THE CITY OF DAWSONVILLE PLANNING AND ZONING DEPARTMENT.
11. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN REAR OR SIDE YARDS AND MUST BE STORED WITHIN THE SITE. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN AREAS WHICH RESTRICT RIGHT OF WAY.
12. THE EXACT LOCATION OF PAVING STRIPS SHALL BE COORDINATED WITH THE APPLICABLE SIDEWALK, ACCESSIBLE ROUTE, AND ENTRANCE DRIVE.
13. ALL SIDEWALKS ARE TO BE INSTALLED PER ADA STANDARDS. SIDEWALKS TO HAVE MAX SLOPE OF 2% AND MAX CROSS SLOPE OF 2%.
14. CONTRACTOR SHALL NOTIFY ENGINEER SHOULD ANY FIELD CONDITIONS BE NOTED THAT DIFFER FROM THE SURVEY.
15. CONTRACTOR SHALL FURNISH "SIGNAL" DRAWINGS INDICATING ALL CHANGES AND DEVIATIONS.
16. PROJECT LOCATION: 20 DUCK TURN ROAD CORNER OF HWY 52 AND DUCK TURN ROAD IN THE CITY OF DAWSONVILLE, DAWSON COUNTY, STATE OF GEORGIA.
17. OWNERS INFORMATION: JERRY PORTER, 20 DUCK TURN ROAD, DAWSONVILLE, GA 30034. PHONE: (604) 293-4343. CONTACT: JERRY PORTER.
18. ENGINEER: CIVILICOLISTIX, LLC 500 BURN VALLEY DRIVE, ROSWELL, GA 30076. PHONE: (604) 584-0141. CONTACT: DAVID WHITE, CIVILICOLISTIX.
19. ALL WORK SHALL BE PERMITTED THROUGH THE CITY OF DAWSONVILLE PLANNING AND ZONING DEPARTMENT.
20. IMPACT SYSTEMS ARE PROHIBITED ON ALL EXISTING AND PROPOSED CITY HIGHWAY AND HIGHWAY ENCROACHMENTS.
21. ALL WORK SHALL BE PERMITTED THROUGH THE CITY OF DAWSONVILLE PLANNING AND ZONING DEPARTMENT.
22. NOTIFY CITY OF DAWSONVILLE INSPECTOR 24 HOURS BEFORE BEGINNING PHASE OF CONSTRUCTION. (706) 293-3230.
23. ALL ZONING BUFFERES SHALL BE IDENTIFIED WITH ORANGE, FOUR FOOT TREADS FENCING PRIOR TO ANY LAND DISTURBANCE.
24. ALL WORK SHALL BE PERMITTED THROUGH THE CITY OF DAWSONVILLE PLANNING AND ZONING DEPARTMENT.
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100. ALL WORK SHALL BE PERMITTED THROUGH THE CITY OF DAWSONVILLE PLANNING AND ZONING DEPARTMENT.

**C202.5**  
**21320**  
**OCTOBER 31, 2022**  
 REVISIONS:

**SITE PLAN: PHASE 6 CONDOS**  
**AMP FUTURE IMPROVEMENTS**  
 20 DUCK TURN RD.  
 DAWSONVILLE, GA 30034

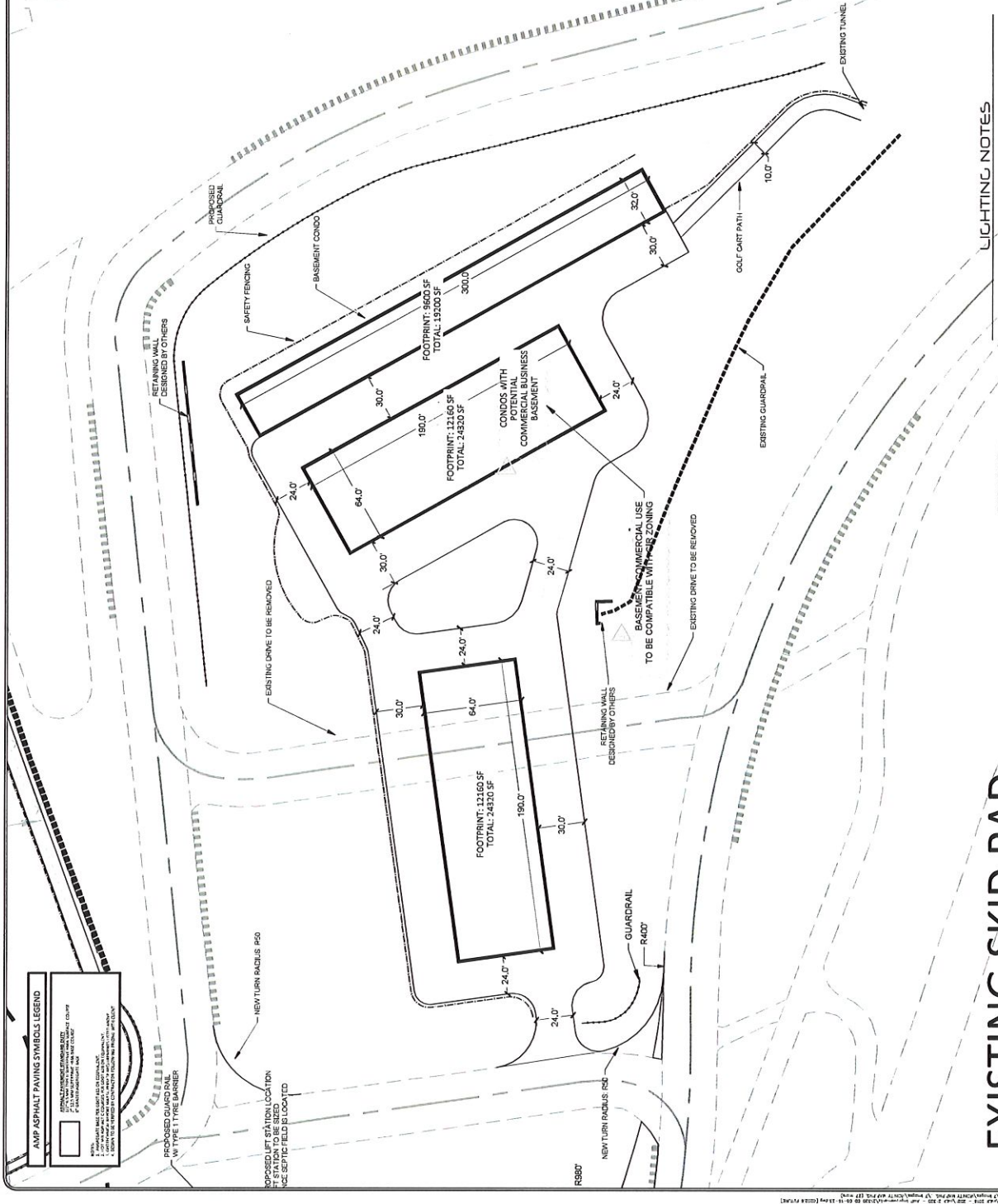
**CIVILICOLISTIX**  
 500 SUN VALLEY DRIVE, STE H3, ROSWELL, GA 30076  
 (404) 594-4433 - CIVILICOLISTIX.COM





**GENERAL NOTES**

1. ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF DAWSONVILLE, STATE OF GA REGULATIONS AND CODES, AS WELL AS ALL OSHA STANDARDS.
2. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY DATED 09/28/2022 BY CIVIL LOGICISTIX, 800 SUN VALLEY DRIVE, SUITE H3, ROSWELL, GA 30076. DATUM: NAVD83. REVISION: 02/09/23.
3. ACCORDING TO INITIAL DEVELOPMENT SURVEY PREPARED BY GRANT SURBER & ASSOCIATES, DATED 08/04/2016, PORTIONS OF THE SUBJECT PROPERTY OF THIS SURVEY HAS BEEN FOUND TO RESIDE IN ZONE "A", WHICH IS INSIDE THE LIMITS OF THE 100 YEAR FLOOD ZONE.
4. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE "LEASE" DIMENSIONS. FOR ACTUAL DIMENSIONS, SEE ARCHITECTURAL PLANS. DIMENSIONS TO CORNER CURBS OUTLINE ARE TO FACE OF CURB.
5. SITE WORK CONTRACTOR IS RESPONSIBLE FOR WORK TO WITHIN 5' OF THE BUILDING. EXISTING STRUCTURES WITH CONSTRUCTION LIMITS ARE TO BE MAINTAINED, REMOVED, OR RECONSTRUCTED AS INDICATED ON THE PLAN AND IN THE SPECIFICATIONS.
6. CONTRACTOR IS TO NOTIFY CITY INSPECTOR 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
7. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS, INCLUDING GA DOT UTILITY ENCROACHMENT PERMIT.
8. ALL SIGNAGE SHALL COMPLY WITH THE CITY OF DAWSONVILLE ZONING ORDINANCE. A SEPARATE SIGN PERMIT IS REQUIRED.
9. CONSTRUCTION TRAILER USED ON-SITE SHALL BE PERMITTED THROUGH THE CITY OF DAWSONVILLE ZONING ORDINANCE.
10. ALL MATERIALS TO BE STORED ON-SITE SHALL BE STORED IN A SAFE MANNER. ALL AREAS MUST BE STORED WITHIN THE SITE. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN AREAS WHICH RESTRICT SIGHT DISTANCE.
11. THE EXACT LOCATION OF HATCHTOP MARKS SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS. ALL HATCHTOP MARKS SHALL BE IDENTIFIED BY THE DESCRIPTIONS OF EACH APPLICABLE SIDEWALK, ACCESSIBLE ROUTE, AND ENTRANCE DRIVE.
12. ALL SIDEWALKS ARE TO BE INSTALLED PER ADA STANDARDS. SIDEWALKS TO HAVE WAY SLOPE OF 1% AND MAX CROSS SLOPE OF 2%.
13. CONTRACTOR SHALL NOTIFY ENGINEER SHOULD ANY FIELD CONDITIONS BE NOTED THAT DIFFER FROM THE SURVEY.
14. SITE CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS INDICATING ALL CHANGES AND DEVIATIONS.
15. THE PROJECT IS TO BE CONSTRUCTION OF PHASE 7 CONDOS AT 20 DICK THURMOND ROAD IN THE CITY OF DAWSONVILLE, DAWSON COUNTY, STATE OF GEORGIA.
16. OWNER'S INFORMATION: ENERGY PORTERS, 20 DICK THURMOND RD, DAWSONVILLE, GA 30534, PHONE: (601) 603-4342, CONTACT: JEREMY PORTER.
17. ENGINEER: CIVIL LOGICISTIX, LLC, 800 SUN VALLEY DRIVE, ROSWELL, GA 30076, PHONE: (404) 594-4103, CONTACT: DAVID WHITE, [DW@CIVLOGIX.COM](mailto:DW@CIVLOGIX.COM).
18. BUILDING LOCATION IS TO THE OUTSIDE FACE OF BLOCK. CONTRACTOR TO COORDINATE AND VERIFY EXISTING BUILDING LOCATION'S ALIGNMENT WITH ARCHITECTURAL DRAWINGS.
19. ALL STRUCTURES, FENCES, OR OTHER OBSTRUCTIONS MAY BE LOCATED WITHIN A DRAINAGE BASIN OR FLOOD ZONE. CONTRACTOR SHALL VERIFY WITH DAWSONVILLE, GA. CONSTRUCTION INSPECTOR 72 HOURS BEFORE BEGINNING PHASE OF CONSTRUCTION. (701) 255-3284.
20. ALL CONING BUFFERS SHALL BE IDENTIFIED WITH ORANGE FOUR FOOT TRESA-ME FENCING PRIOR TO ANY LAND DISTURBANCE.
21. THESE DRAWINGS AND DESIGN MUST BE SUBMITTED TO THE CITY OF DAWSONVILLE FOR APPROVAL. SPECIFICATIONS THAT ARE SITE SPECIFIC AND MUST BE SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER. ALL WALLS GREATER THAN FORTY FEET HIGH IN HEIGHT SHALL INCLUDE A FENCE OR HANDRAIL.
22. NO OVERNIGHT PARKING TO BE ALLOWED OUTSIDE OF BUILDING.
23. WORK HOURS SHALL BE BETWEEN THE HOURS OF 7:30 AM AND DARK (MONDAY-FRIDAY AND 12:00 AM AND DARK (SATURDAY, NO CONSTRUCTION WORK ON SUNDAY).
24. THE SITE IS LOCATED IN AN AREA OF "1000 YEAR" OF FLOOD ZONE. "A" MARK ON MAP NUMBER 1000 YEAR FLOOD ZONE. CONTRACTOR SHALL VERIFY WITH DAWSONVILLE, GA. CONSTRUCTION INSPECTOR 72 HOURS BEFORE BEGINNING PHASE OF CONSTRUCTION. (701) 255-3284.
25. THE SITE IS CURRENTLY ZONED "RESIDENTIAL INTERMEDIATE". WITHIN THE CITY OF DAWSONVILLE. THE SITE IS CURRENTLY ZONED "RESIDENTIAL INTERMEDIATE". WITHIN THE CITY OF DAWSONVILLE. THE SITE IS CURRENTLY ZONED "RESIDENTIAL INTERMEDIATE". WITHIN THE CITY OF DAWSONVILLE. THE SITE IS CURRENTLY ZONED "RESIDENTIAL INTERMEDIATE". WITHIN THE CITY OF DAWSONVILLE.



**LIGHTING NOTES**

1. SITE LIGHTING NOT INCLUDED IN PLAN SET.
2. SITE LIGHTING TO BE DESIGNED BY OTHERS.
3. SITE LIGHTING TO BE PERMITTED THROUGH CITY OF DAWSONVILLE.

**EXISTING SKID PAD**

**AMP ASPHALT PAVING SYMBOLS LEGEND**

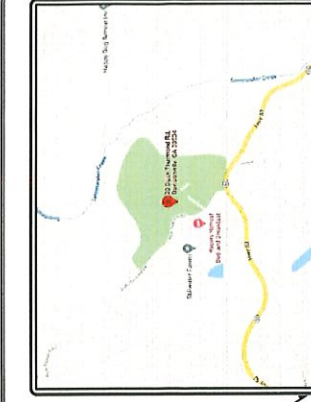
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PROPOSED GOLF CART LOCATION WITH TYPE 1 TIRE BARRIER

PROPOSED DRIVEWAY LOCATION WITH SPOTIC FIELD LOCATED

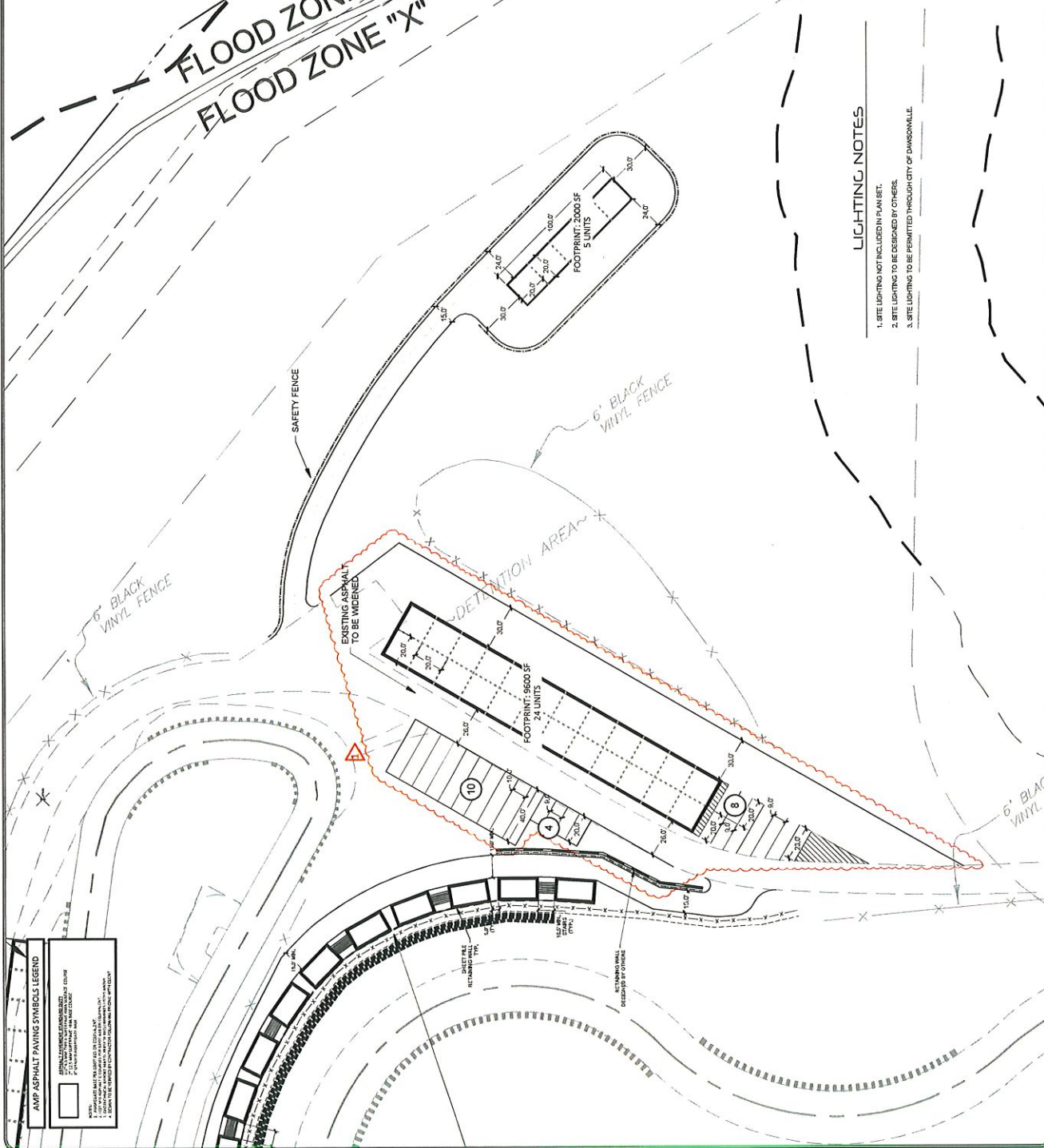
Small text at the bottom of the page, likely containing project details and contact information.





**GENERAL NOTES**

1. ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF DAWSONVILLE STATE OF GA REGULATIONS AND CODES, AS WELL AS ALL OSHA STANDARDS.
2. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY LAWRENCEVILLE, GA 30048 DATED 01-26-18, REVISIONS DRAWN: 01-26-18, BY: [Redacted].
3. ACCORDING TO INITIAL DEVELOPMENT SURVEY PREPARED BY GRANT SHEPHERD & ASSOCIATES, INC. (GSA) ON 01-26-18, PORTION OF THE SUBJECT PROPERTY OF THIS SURVEY HAS BEEN DESIGNATED AS FLOOD ZONE "X" AND FLOOD ZONE "100".
4. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE "LEASE" DIMENSIONS. FOR ACTUAL DIMENSIONS, DIMENSIONS TO CENTER LINE OF CONSTRUCTION SHALL BE USED. DIMENSIONS TO FACE OF CURB OR OUTER ARE TO BE USED UNLESS INDICATED OTHERWISE.
5. SITE WORK CONTRACTOR IS RESPONSIBLE FOR WORK TO WITHIN 4' OF THE BUILDING.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS, NOTED, REMOVED OR RELOCATED AS INDICATED ON THE PLANS AND IN THE SPECIFICATIONS.
7. CONTRACTOR IS TO NOTIFY CITY INSPECTORS 24 HOURS PRIOR TO THE START OF CONSTRUCTION.
8. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS, INCLUDING DA DOT UTILITY ENCROACHMENT PERMIT.
9. ALL SIGNAGE SHALL COMPLY WITH THE CITY OF DAWSONVILLE ZONING ORDINANCE. A SEPARATE SIGN PERMIT IS REQUIRED.
10. ALL SIGNAGE SHALL BE PERMITTED THROUGHOUT THE CITY OF DAWSONVILLE, DAWSONVILLE, GA 30034.
11. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN REQUIRED SHOULDERWAY AND MUST BE STORED WITHIN THE SITE. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN AREAS WHERE STREET RIGHT OF WAY IS REQUIRED.
12. THE EXACT LOCATION OF EACH PUMP SHALL BE COORDINATED WITH THE CITY OF DAWSONVILLE, GEORGIA. THE EXACT LOCATION, SIZE, TYPE, AND MATERIALS OF EACH PUMP SHALL BE DETERMINED BY THE CITY OF DAWSONVILLE, GEORGIA. EACH PUMP SHALL BE INSTALLED PER ADA STANDARDS. SIDEWALKS TO HAVE MAX SLOPE OF 2% AND MAX CROSS SLOPE OF 2%.
13. ALL SIDEWALKS ARE TO BE INSTALLED PER ADA STANDARDS. SIDEWALKS TO HAVE MAX SLOPE OF 2% AND MAX CROSS SLOPE OF 2%.
14. CONTRACTOR SHALL NOTIFY ENGINEER SHOULD ANY FIELD CONDITIONS BE NOTED THAT DEVIATE FROM THE CORRECT.
15. CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS INDICATING ALL CHANGES AND DEVIATIONS.
16. PROJECT LOCATION: 20 DUCK TURNBOURNE CORNER OF HWY 60 AND DUCK TURNBOURNE ROAD IN THE CITY OF DAWSONVILLE, DAWSONVILLE COUNTY, STATE OF GEORGIA.
17. OWNER'S INFORMATION: JEREMY PORTER, 20 DUCK TURNBOURNE RD, DAWSONVILLE, GA 30034. PHONE: (404) 699-4444; CONTACT: JEREMY PORTER.
18. ENGINEER: CIVILILICISTIX, LLC 300 SUN VALLEY DRIVE, ROSWELL, GA 30076. PHONE: (404) 674-4403; CONTACT: DAVID WHITE, CIVILILICISTIX, LLC.
19. THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF DAWSONVILLE, GEORGIA ZONING ORDINANCE AND THE CITY OF DAWSONVILLE, GEORGIA SUBDIVISION ORDINANCE.
20. IMPROVEMENTS ARE PROHIBITED ON ALL EXISTING AND PROPOSED CITY HIGHWAYWAY AND CONSIDERED TO BE A VIOLATION OF THE CITY OF DAWSONVILLE, GEORGIA HIGHWAYWAY AND IMPROVEMENTS ORDINANCE.
21. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE CITY OF DAWSONVILLE, GEORGIA, WITHIN 24 HOURS PRIOR TO THE BEGINNING PHASE OF CONSTRUCTION (180) 280-2800.
22. ALL ZONING BUFFERIES SHALL BE IDENTIFIED WITH CHANGE, FOUR-FEET TREASURE FENCE PRIOR TO ANY AND ALL CONSTRUCTION.
23. ALL PERMITS REQUIRED TO BE OBTAINED BY THE CITY OF DAWSONVILLE, GEORGIA, PRIOR TO CONSTRUCTION PLAN APPROVAL. ALL DESIGN MUST INCLUDE DETAIL AND PROFESSIONAL ENGINEERING SEAL FOR ALL PERMITS. ALL PERMITS SHALL BE OBTAINED IN HEIGHT SHALL INCLUDE A FENCE OR RAILROAD.
24. NO OVERTIME PARKING TO BE ALLOWED OUTSIDE OF BUILDING.
25. WORK HOURS SHALL BE BETWEEN THE HOURS OF 7:30 AM AND FOUR MIDDAY AND 5:00 AM AND END ON 6:00 PM. NO CONSTRUCTION WORK ON SUNDAY.
26. ALL ZONING BUFFERIES SHALL BE IDENTIFIED WITH CHANGE, FOUR-FEET TREASURE FENCE PRIOR TO ANY AND ALL CONSTRUCTION. "WOOD FENCING" ON FLOOD ZONE "X" BASED ON MAP NUMBER 2018-001-EFFECTIVE ON 08-01-2018.
27. THE SITE IS CURRENTLY ZONED RESTRICTED INDUSTRIAL WITHIN THE CITY OF DAWSONVILLE, GEORGIA.
28. INTERIOR STREETS TO BE MAINTAINED PERMITS.
29. THE CITY OF DAWSONVILLE, GEORGIA IS REQUESTING THAT THE CONTRACTOR PROVIDE A LETTER TO THE CITY OF DAWSONVILLE, GEORGIA, REGARDING THE FLOOD ZONE "X" AREA. REFER TO SUBJECT CITY OF DAWSONVILLE, GEORGIA MAP NUMBER 2018-001-EFFECTIVE ON 08-01-2018.



**LIGHTING NOTES**

1. SITE LIGHTING NOT INCLUDED IN PLAN SET.
2. SITE LIGHTING TO BE DESIGNED BY OTHERS.
3. SITE LIGHTING TO BE PERMITTED THROUGHOUT CITY OF DAWSONVILLE.

**AMP ASPHALT PAVING SYMBOLS LEGEND**

- AMP ASPHALT PAVING SYMBOLS LEGEND
- CONCRETE ASPHALT PAVING SYMBOLS LEGEND
- CONCRETE ASPHALT PAVING SYMBOLS LEGEND
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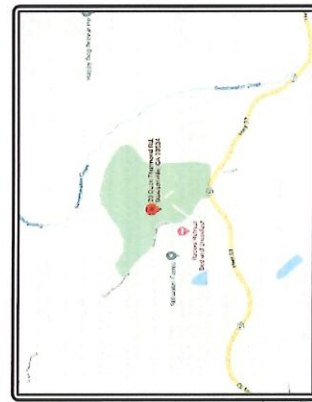


**CIVIL**  
LOGISTICS  
500 SUN VALLEY DRIVE, STE 113, ROSWELL, GA 30076  
(404) 594-4103 - cwhite@clg.com

**SITE PLAN: CAROUSEL BUILDINGS  
AMP FUTURE IMPROVEMENTS**  
20 DUCK THURMOND RD  
DAMONVILLE, GA 30534

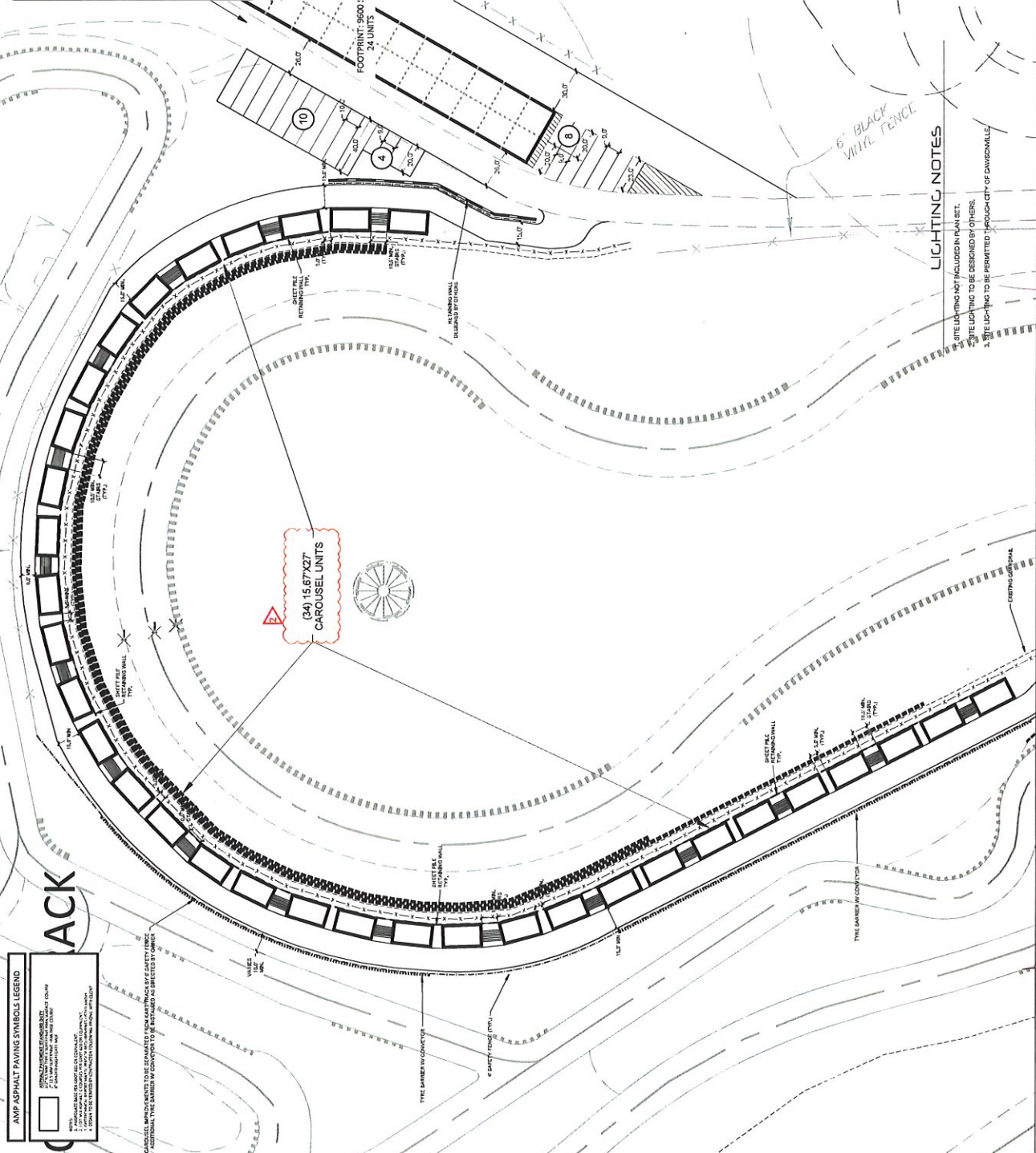
**C2028  
21320  
OCTOBER 31, 2022**

**DAKOTA COUNTY  
04-27-23  
05-30-23**



**GENERAL NOTES**

1. ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF DAWSONVILLE STATE OF GA REGULATIONS AND CODES, AS WELL AS ALL O.S.H.A. STANDARDS.
2. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY DATED 05-26-22, PROJECT NO. 22-001, BY CIVIL LOGISTICS, INC., 500 SUN VALLEY DRIVE, LAWRENCEVILLE, GA 30046, DATED 05-26-22, REVISION 04-16-23, 10-24-23.
3. ACCORDING TO INITIAL DEVELOPMENT QUANTY PREPARED BY GRANT BARNER & ASSOCIATES, DATED 06-06-22, PORTIONS OF THE SUBJECT PROPERTY OF THIS SURVEY HAS BEEN DESIGNATED AS A RECREATION ZONE, WHICH IS WITHIN THE LIMITS OF THE "100 FOOT FLOOD ZONE". ALL BUILDING DIMENSIONS SHALL BE DIMENSIONS TO CONING CURBS (OUTER ARE TO CONING CURBS).
4. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE "LEASE" DIMENSIONS. FOR ACTUAL DIMENSIONS, SEE ARCHITECTURAL PLANS. DIMENSIONS TO CONING CURBS (OUTER ARE TO CONING CURBS).
5. SITE WORK CONTRACTOR IS RESPONSIBLE FOR WORK TO WITHIN 10' OF THE BUILDING. ALL CONSTRUCTION SHALL BE WITHIN CONSTRUCTION LIMITS AS TO BE AMENDMENTS, REMOVED OR ADDED TO THIS PLAN. ALL CONSTRUCTION SHALL BE WITHIN CONSTRUCTION LIMITS AS TO BE AMENDMENTS, REMOVED OR ADDED TO THIS PLAN.
6. CONTRACTOR IS TO NOTIFY CITY INSPECTOR 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
7. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS, INCLUDING GA DOT UTILITY ENCROACHMENT PERMIT.
8. ALL SIGNAGE SHALL COMPLY WITH THE CITY OF DAWSONVILLE ZONING ORDINANCE. A SEPARATE SIGN PERMIT IS REQUIRED.
9. CONSTRUCTION TRAILER USED ON-SITE SHALL BE PERMITTED THROUGH THE CITY OF DAWSONVILLE ZONING ORDINANCE.
10. ALL CONSTRUCTION SHALL BE WITHIN CONSTRUCTION LIMITS AS TO BE AMENDMENTS, REMOVED OR ADDED TO THIS PLAN. ALL CONSTRUCTION SHALL BE WITHIN CONSTRUCTION LIMITS AS TO BE AMENDMENTS, REMOVED OR ADDED TO THIS PLAN.
11. ALL CONSTRUCTION SHALL BE WITHIN CONSTRUCTION LIMITS AS TO BE AMENDMENTS, REMOVED OR ADDED TO THIS PLAN. ALL CONSTRUCTION SHALL BE WITHIN CONSTRUCTION LIMITS AS TO BE AMENDMENTS, REMOVED OR ADDED TO THIS PLAN.
12. THE EXACT LOCATION OF HAZARDOUS WASTE SHALL BE COORDINATED WITH THE APPROPRIATE AGENCIES AND LOCAL AUTHORITIES. ALL CONSTRUCTION SHALL BE WITHIN CONSTRUCTION LIMITS AS TO BE AMENDMENTS, REMOVED OR ADDED TO THIS PLAN.
13. ALL SIDEWALKS ARE TO BE INSTALLED PER ADA STANDARDS. SIDEWALKS TO HAVE MAX SLOPE OF 1% AND MAX CROSS SLOPE OF 2%.
14. CONTRACTOR SHALL NOTIFY ENGINEER SHOULD ANY FIELD CONDITIONS BE NOTED THAT DIFFER FROM THE SURVEY.
15. SITE CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS INDICATING ALL CHANGES AND CORRECTIONS TO THIS PLAN. ALL CHANGES SHALL BE NOTED ON THE "AS-BUILT" DRAWINGS AND MUST BE SUBMITTED WITHIN THE CITY OF DAWSONVILLE ZONING ORDINANCE. ALL CHANGES SHALL BE NOTED ON THE "AS-BUILT" DRAWINGS AND MUST BE SUBMITTED WITHIN THE CITY OF DAWSONVILLE ZONING ORDINANCE.
16. ALL CONSTRUCTION SHALL BE WITHIN CONSTRUCTION LIMITS AS TO BE AMENDMENTS, REMOVED OR ADDED TO THIS PLAN. ALL CONSTRUCTION SHALL BE WITHIN CONSTRUCTION LIMITS AS TO BE AMENDMENTS, REMOVED OR ADDED TO THIS PLAN.
17. OWNERS INFORMATION: JEREMY PORTER, 30 DUCK THURMOND RD, DAWSONVILLE, GA 30534, PHONE (601) 203-0436, CONTACT: JEREMY PORTER.
18. ENGINEER: CIVIL LOGISTICS, 500 SUN VALLEY DRIVE, ROSWELL, GA 30076, PHONE (404) 594-4103, CONTACT: DAVID WHITE, CIVILLOGISTICS.COM.
19. BUILDING LOCATION TO THE OUTSIDE FACE OF BLOCK. CONTRACTOR TO COORDINATE AND VERIFY EXISTING UTILITIES AND STRUCTURAL FOUNDATIONS WITH ARCHITECTURAL DRAWINGS. ALL CONSTRUCTION SHALL BE WITHIN CONSTRUCTION LIMITS AS TO BE AMENDMENTS, REMOVED OR ADDED TO THIS PLAN.
20. ALL CONSTRUCTION SHALL BE WITHIN CONSTRUCTION LIMITS AS TO BE AMENDMENTS, REMOVED OR ADDED TO THIS PLAN. ALL CONSTRUCTION SHALL BE WITHIN CONSTRUCTION LIMITS AS TO BE AMENDMENTS, REMOVED OR ADDED TO THIS PLAN.
21. CITY OF DAWSONVILLE INSPECTOR 72 HOURS BEFORE BEGINNING PHASE OF CONSTRUCTION, (06) 202-3242.
22. ALL ZONING BUFFER SHALL BE IDENTIFIED WITH CHANGE. FOUND/NOT TREG-CAVE ENDING PRIOR TO ANY LAND DISTURBANCE.
23. ALL CONSTRUCTION SHALL BE WITHIN CONSTRUCTION LIMITS AS TO BE AMENDMENTS, REMOVED OR ADDED TO THIS PLAN. ALL CONSTRUCTION SHALL BE WITHIN CONSTRUCTION LIMITS AS TO BE AMENDMENTS, REMOVED OR ADDED TO THIS PLAN.
24. ALL CONSTRUCTION SHALL BE WITHIN CONSTRUCTION LIMITS AS TO BE AMENDMENTS, REMOVED OR ADDED TO THIS PLAN. ALL CONSTRUCTION SHALL BE WITHIN CONSTRUCTION LIMITS AS TO BE AMENDMENTS, REMOVED OR ADDED TO THIS PLAN.
25. NO OVERNIGHT PARKING TO BE ALLOWED OUTSIDE OF BUILDINGS.
26. WORK-HOURS SHALL BE BETWEEN THE HOURS OF 7:30 AM AND DARK MOON AFTERNOON AND 5:00 AM AND DARK MOON AFTERNOON. NO CONSTRUCTION WORK ON SUNDAY.
27. THE SITE IS CURRENTLY ZONED RECREATION (R). WITHIN THE CITY OF DAWSONVILLE ZONING ORDINANCE.
28. INTERIOR STREETS TO BE MAINTAINED PERMITS.
29. ALL CONSTRUCTION SHALL BE WITHIN CONSTRUCTION LIMITS AS TO BE AMENDMENTS, REMOVED OR ADDED TO THIS PLAN. ALL CONSTRUCTION SHALL BE WITHIN CONSTRUCTION LIMITS AS TO BE AMENDMENTS, REMOVED OR ADDED TO THIS PLAN.

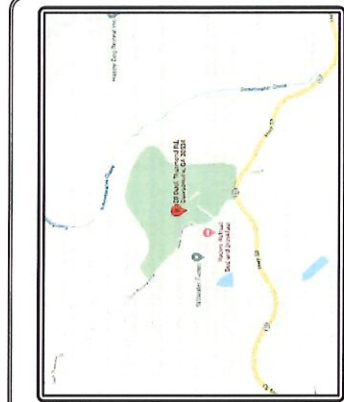


- AMP ASPHALT PAVING SYMBOLS LEGEND**
- [Symbol] ASPHALT DRIVEWAY
  - [Symbol] ASPHALT DRIVEWAY WITH CURB
  - [Symbol] ASPHALT DRIVEWAY WITH CURB AND GUTTER
  - [Symbol] ASPHALT DRIVEWAY WITH CURB AND GUTTER AND SIDEWALK
  - [Symbol] ASPHALT DRIVEWAY WITH CURB AND GUTTER AND SIDEWALK AND BIKEWAY
- ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE INDICATED.  
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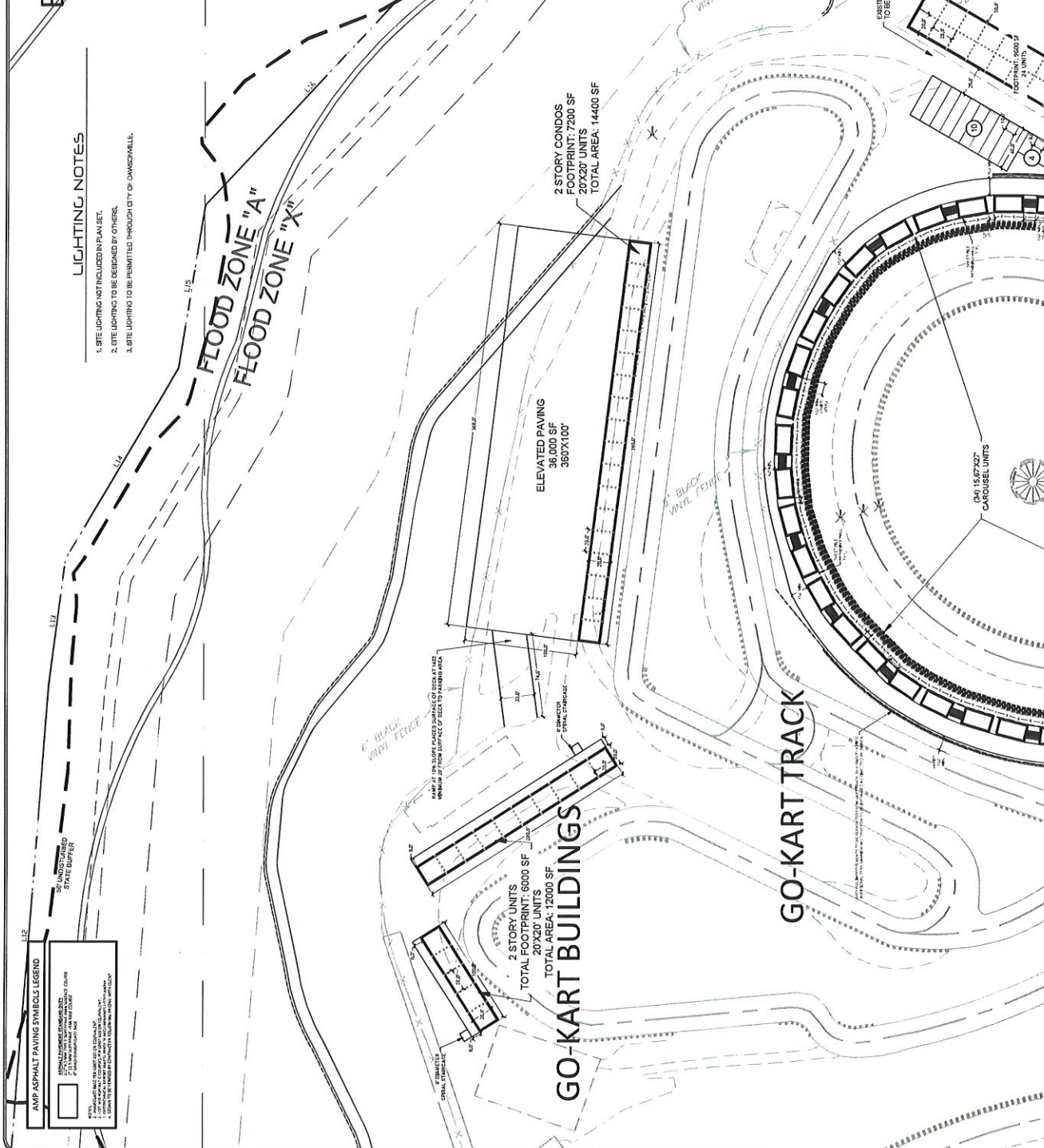
**LIGHTING NOTES**

1. SITE LIGHTING TO BE INCLUDED IN PLAN SET.
2. SITE LIGHTING TO BE DESIGNED BY OTHERS.
3. SITE LIGHTING TO BE PERMITTED THROUGH CITY OF DAWSONVILLE ZONING ORDINANCE.





- ### GENERAL NOTES
1. ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF DAWSONVILLE STATE OF GA REGULATIONS AND CODES, AS WELL AS ALL O.S.D.A. STANDARDS.
  2. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY DATED 08/11/2021 BY CIVIL LOGISTICS, 800 SUN VALLEY DRIVE, STE. H3, ROSWELL, GA 30076.
  3. ACCORDING TO INITIAL DEVELOPMENT SURVEY PREPARED BY GRANT BIERBERG & ASSOCIATES, DATED 08/04/2016, PORTIONS OF THE SUBJECT PROPERTY OF THIS SURVEY WAS FOUND TO RESIDE IN "ZONE A", WHICH IS INSIDE THE LIMITS OF THE "TOP OF FLOOD ZONE".
  4. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE CLASSIC DIMENSIONS. FOR ACTUAL DIMENSIONS, SEE ARCHITECTURAL PLANS. DIMENSIONS TO CURB, CURBS & GUTTER ARE TO FACE OF CURB.
  5. SITE WORK CONTRACTOR IS RESPONSIBLE FOR WORK TO WITHIN 5' OF THE BUILDING. EXISTING STRUCTURES WITH CONSTRUCTION LIMITS ARE TO BE MAINTAINED, REMOVED OR RECONSTRUCTED AS INDICATED ON THE PLANS AND IN THE SPECIFICATIONS.
  6. CONTRACTOR SHALL NOTIFY CITY INSPECTOR 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
  7. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS, INCLUDING GA DOT UTILITY ENCROACHMENT PERMIT.
  8. ALL SIGNAGE SHALL COMPLY WITH THE CITY OF DAWSONVILLE ZONING ORDINANCE. A SEPARATE SIGN PERMIT IS REQUIRED.
  9. CONSTRUCTION TRAILER USED ON-SITE SHALL BE PERMITTED THROUGH THE CITY OF DAWSONVILLE PLANNING AND ZONING DEPARTMENT.
  10. ALL UTILITIES SHALL BE MAINTAINED AND NOT BE RELOCATED UNLESS OTHERWISE NOTED ON THE SITE. CONSTRUCTION EQUIPMENT SHALL NOT BE WASHED IN AREAS WHICH RESTRICT SIGHT DISTANCE.
  11. THE EXACT LOCATION OF HATCHCOUP PAVINGS SHALL BE COORDINATED WITH THE APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ACCESSIBLE ROUTE, AND DRAINAGE DRAINAGE.
  12. ALL SIGNALS ARE TO BE INSTALLED PER ASD STANDARDS. RECEIVERS TO HAVE MAX SLOPE OF 1% AND MAX CURBS SLOPE OF 2%.
  13. CONTRACTOR SHALL NOTIFY ENGINEER SHOULD ANY FIELD CONDITIONS BE NOTED THAT DIFFER FROM THE SURVEY.
  14. SITE CONTRACTOR SHALL FURNISH "SKULLIT" DRAWINGS INDICATING ALL CHANGES AND DEVIATIONS.
  15. ALL UTILITIES SHALL BE MAINTAINED AND NOT BE RELOCATED UNLESS OTHERWISE NOTED ON THE SITE. CONSTRUCTION EQUIPMENT SHALL NOT BE WASHED IN AREAS WHICH RESTRICT SIGHT DISTANCE.
  16. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS, INCLUDING GA DOT UTILITY ENCROACHMENT PERMIT.
  17. CONTRACTOR SHALL COORDINATE WITH THE CITY OF DAWSONVILLE PLANNING AND ZONING DEPARTMENT FOR ALL SIGNAGE AND PERMITS.
  18. ENGINEER: CHALCOBETH, LLC, 300 SUN VALLEY DRIVE, ROSWELL, GA 30076, PHONE: (404) 594-4103, CONTACT: DAVID WHITE, CIVILLOGISTICS.COM.
  19. BUILDING LOCATION TO THE OUTSIDE FACE OF BLOCK. CONTRACTOR TO COORDINATE AND VERIFY EXISTING UTILITIES AND ENFORCE WITH ARCHITECTURAL DRAWINGS.
  20. ALL UTILITIES SHALL BE MAINTAINED AND NOT BE RELOCATED UNLESS OTHERWISE NOTED ON THE SITE. CONSTRUCTION EQUIPMENT SHALL NOT BE WASHED IN AREAS WHICH RESTRICT SIGHT DISTANCE.
  21. ALL STRUCTURES, FENCE, OR OTHER OBSTRUCTIONS MAY BE LOCATED WITHIN A DRAINAGE DISTRICT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ACCESSIBLE ROUTE, AND DRAINAGE DRAINAGE.
  22. ALL ZONING VIOLATIONS SHALL BE IDENTIFIED WITH DRAINAGE, FOUR-FOOT TREE-LINE FENCING PRIOR TO ANY LAND DISTURBANCE.
  23. ALL STRUCTURES SHALL BE IDENTIFIED WITH DRAINAGE, FOUR-FOOT TREE-LINE FENCING PRIOR TO ANY LAND DISTURBANCE.
  24. THE CITY OF DAWSONVILLE INSPECTOR SHALL BE NOTIFIED 72 HOURS BEFORE BEGINNING PHASE OF CONSTRUCTION, 7201 203222.
  25. ALL ZONING VIOLATIONS SHALL BE IDENTIFIED WITH DRAINAGE, FOUR-FOOT TREE-LINE FENCING PRIOR TO ANY LAND DISTURBANCE.
  26. THE CITY OF DAWSONVILLE INSPECTOR SHALL BE NOTIFIED 72 HOURS BEFORE BEGINNING PHASE OF CONSTRUCTION, 7201 203222.
  27. THE SITE UNDERGROUND IN AREA OF "LOAD HAZARD" OR "LOAD ZONE". X'S MARK ON MAP NUMBER AND DUB ON GA SURVEY, NO CONSTRUCTION WORK ON SUBMIT.
  28. WORK HOUR SHALL BE BETWEEN THE HOURS OF 7:30 AM AND 5:00 PM MONDAY-FRIDAY AND 8:30 AM AND 5:00 PM SATURDAY ON WEDNESDAY.
  29. THE SITE UNDERGROUND IN AREA OF "LOAD HAZARD" OR "LOAD ZONE". X'S MARK ON MAP NUMBER AND DUB ON GA SURVEY, NO CONSTRUCTION WORK ON SUBMIT.
  30. THE CITY OF DAWSONVILLE INSPECTOR SHALL BE NOTIFIED 72 HOURS BEFORE BEGINNING PHASE OF CONSTRUCTION, 7201 203222.
  31. THE CITY OF DAWSONVILLE INSPECTOR SHALL BE NOTIFIED 72 HOURS BEFORE BEGINNING PHASE OF CONSTRUCTION, 7201 203222.
  32. THE CITY OF DAWSONVILLE INSPECTOR SHALL BE NOTIFIED 72 HOURS BEFORE BEGINNING PHASE OF CONSTRUCTION, 7201 203222.
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  47. THE CITY OF DAWSONVILLE INSPECTOR SHALL BE NOTIFIED 72 HOURS BEFORE BEGINNING PHASE OF CONSTRUCTION, 7201 203222.
  48. THE CITY OF DAWSONVILLE INSPECTOR SHALL BE NOTIFIED 72 HOURS BEFORE BEGINNING PHASE OF CONSTRUCTION, 7201 203222.
  49. THE CITY OF DAWSONVILLE INSPECTOR SHALL BE NOTIFIED 72 HOURS BEFORE BEGINNING PHASE OF CONSTRUCTION, 7201 203222.
  50. THE CITY OF DAWSONVILLE INSPECTOR SHALL BE NOTIFIED 72 HOURS BEFORE BEGINNING PHASE OF CONSTRUCTION, 7201 203222.










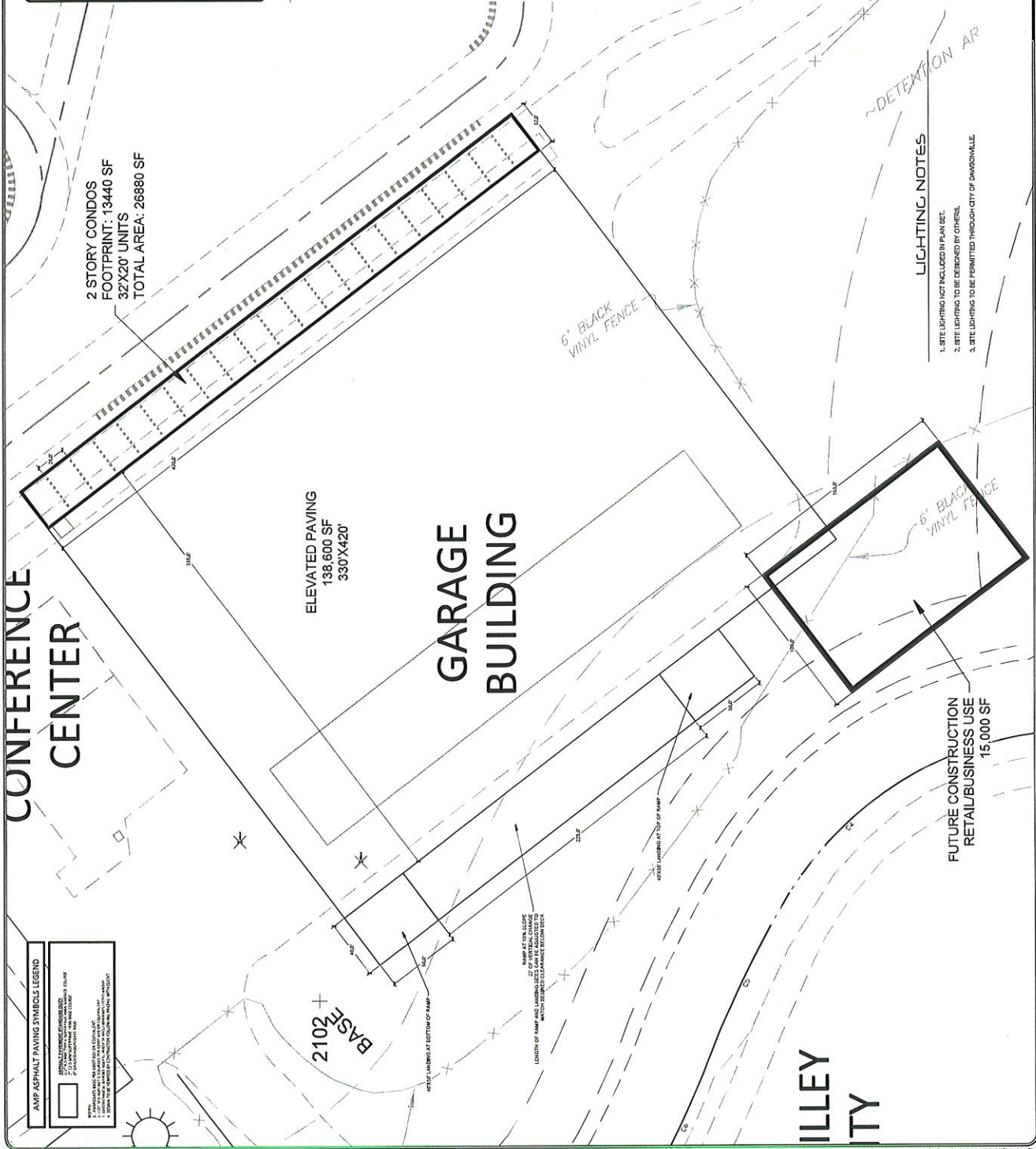
- ### LIGHTING NOTES
1. SITE LIGHTING NOT INCLUDED IN PLAN SET.
  2. SITE LIGHTING TO BE DESIGNED BY OTHERS.
  3. SITE LIGHTING TO BE PERMITTED THROUGH CITY OF DAWSONVILLE.

### ASPHALT PAVING SYMBOLS LEGEND

	20' UNDEVELOPED STATE BUFFER
	ASPHALT
	ASPHALT WITH CURB
	ASPHALT WITH CURB AND GUTTER
	ASPHALT WITH CURB AND GUTTER AND SIDEWALK
	ASPHALT WITH CURB AND GUTTER AND SIDEWALK AND BIKEWAY

**AMP ASPHALT PAVING SYMBOLS LEGEND**

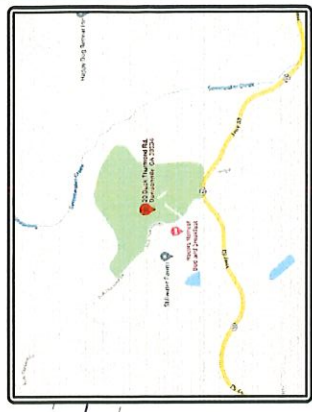
 AMP ASPHALT PAVING  
 20' WIDE LANE  
 10' WIDE LANE  
 5' WIDE LANE  
 2.5' WIDE LANE  
 1.25' WIDE LANE  
 0.625' WIDE LANE



2 STORY CONDOS  
FOOTPRINT: 13440 SF  
32'X20' UNITS  
TOTAL AREA: 26880 SF

ELEVATED PAVING  
138,600 SF  
330'X420'

FUTURE CONSTRUCTION  
RETAIL/BUSINESS USE  
15,000 SF

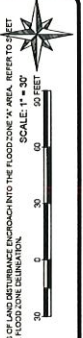


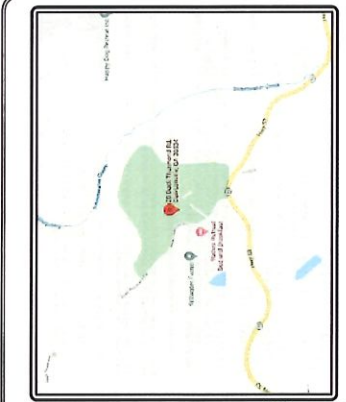
**GENERAL NOTES**

1. ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF DAWSONVILLE STATE OF GA REGULATIONS AND CODES AS WELL AS ALL OSHA STANDARDS.
2. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY DATED 10/15/2021 BY CIVILICOLISTIX INC. THE SURVEY IS FILED IN THE APLAWYERVILLE, GA STATE DATED 10/26/21, REVISION 04/04/21, 01/04/21.
3. ACCORDING TO INITIAL DEVELOPMENT SURVEY PREPARED BY GRANT SHERKOR & ASSOCIATES, DATED 08/04/2015, PORTIONS OF THE SUBJECT PROPERTY OF THIS SURVEY HAS BEEN DEDICATED TO THE CITY OF DAWSONVILLE, GA. THE LIMITS OF THE "100 FOOT ROAD ZONE" SHOWN ON THIS PLAN ARE "LEASE" DIMENSIONS. DIMENSIONS TO CONC. CURB & GUTTER ARE TO FACE OF CURB.
4. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE "LEASE" DIMENSIONS. FOR ACTUAL DIMENSIONS, SEE ARCHITECTURAL PLANS. DIMENSIONS TO CONC. CURB & GUTTER ARE TO FACE OF CURB.
5. SITE WORK CONTRACTOR IS RESPONSIBLE FOR WORK TO WITHIN 50' OF THE BUILDING.
6. DRAINAGE DESIGN SHALL BE IN ACCORDANCE WITH THE CITY OF DAWSONVILLE, GA. ALL DRAINAGE DESIGN SHALL BE IN ACCORDANCE WITH THE CITY OF DAWSONVILLE, GA. ALL DRAINAGE DESIGN SHALL BE IN ACCORDANCE WITH THE CITY OF DAWSONVILLE, GA. ALL DRAINAGE DESIGN SHALL BE IN ACCORDANCE WITH THE CITY OF DAWSONVILLE, GA.
7. CONTRACTOR TO NOTIFY CITY INSPECTORS 24 HOURS PRIOR TO THE START OF CONSTRUCTION.
8. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS, INCLUDING A DOT UTILITY ENCROACHMENT PERMIT.
9. ALL DRAINAGE SHALL COMPLY WITH THE CITY OF DAWSONVILLE ZONING ORDINANCE. A SEPARATE SIGN PERMIT IS REQUIRED.
10. CONSTRUCTION MATERIALS USED ON-SITE SHALL BE PERMITTED THROUGH THE CITY OF DAWSONVILLE, GA. ALL MATERIALS SHALL BE PERMITTED THROUGH THE CITY OF DAWSONVILLE, GA.
11. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN REQUIRED DRIVEWAYS AND MUST BE STORED WITHIN THE SITE. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN AREAS WHICH RESTRICT RIGHT OF WAY.
12. THE EXACT LOCATION OF MANHOLE PUMPS SHALL BE COORDINATED WITH THE APPLICABLE DRIVEWAY, ACCESSIBLE ROUTE, AND ENTRANCE DRIVE.
13. ALL DRIVEWAYS ARE TO BE INSTALLED PER ADA STANDARDS. DRIVEWAYS TO HAVE MAX SLOPE OF 2% AND MAX CROSS SLOPE OF 2%.
14. CONTRACTOR SHALL NOTIFY ENGINEER SHOULD ANY FIELD CONDITIONS BE NOTED THAT DIFFER FROM THE SURVEY.
15. SITE CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS INDICATING ALL CHANGES AND CONSTRUCTION VARIATIONS.
16. PROJECT LOCATION TO BE CLUCK THURGOOD RD CORNER OF HWY 65 AND CLUCK THURGOOD RD IN THE CITY OF DAWSONVILLE, DAWSON COUNTY, STATE OF GEORGIA.
17. OWNERS INFORMATION: JEREMY PORTER, 20 CLUCK THURGOOD RD, DAWSONVILLE, GA 30534. PHONE: (404) 584-2625. CONTACT: JEREMY PORTER.
18. ENGINEER: CIVILICOLISTIX, LLC, 100 BURN VALLEY DRIVE, ROSWELL, GA 30075. PHONE: (404) 584-4642. CONTACT: DAVID WATKINS, CIVILICOLISTIX.
19. BUILDING FOOTPRINTS TO THE OUTSIDE FACE OF BLOCK. CONTRACTOR TO COORDINATE AND VERIFY ALL DIMENSIONS WITH THE CITY OF DAWSONVILLE, GA. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH THE CITY OF DAWSONVILLE, GA. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH THE CITY OF DAWSONVILLE, GA.
20. MATERIALS FOR THE IMPROVEMENT OF ALL DRIVEWAYS AND PAVED AREAS SHALL BE IN ACCORDANCE WITH THE CITY OF DAWSONVILLE, GA. ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF DAWSONVILLE, GA. ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF DAWSONVILLE, GA.
21. ALL DRIVEWAYS SHALL BE INSTALLED PER ADA STANDARDS. DRIVEWAYS TO HAVE MAX SLOPE OF 2% AND MAX CROSS SLOPE OF 2%.
22. NO OVERTIME PARKING TO BE ALLOWED OUTSIDE OF BUILDINGS.
23. WORK HOURS SHALL BE BETWEEN THE HOURS OF 7:30 AM AND 6:00 PM MONDAY-FRIDAY AND 8:00 AM AND 6:00 PM SATURDAY. NO CONSTRUCTION WORK ON SUNDAYS.
24. THE SITE IS CURRENTLY ZONED RESTRICTED INDUSTRIAL. WITHIN THE CITY OF DAWSONVILLE, GA. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DAWSONVILLE, GA. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DAWSONVILLE, GA.
25. INTERIOR DRIVEWAYS TO BE PAVED WITH ASPHALT.
26. REFER TO SHEET C202.11 FOR FURTHER INFORMATION.

**LIGHTING NOTES**

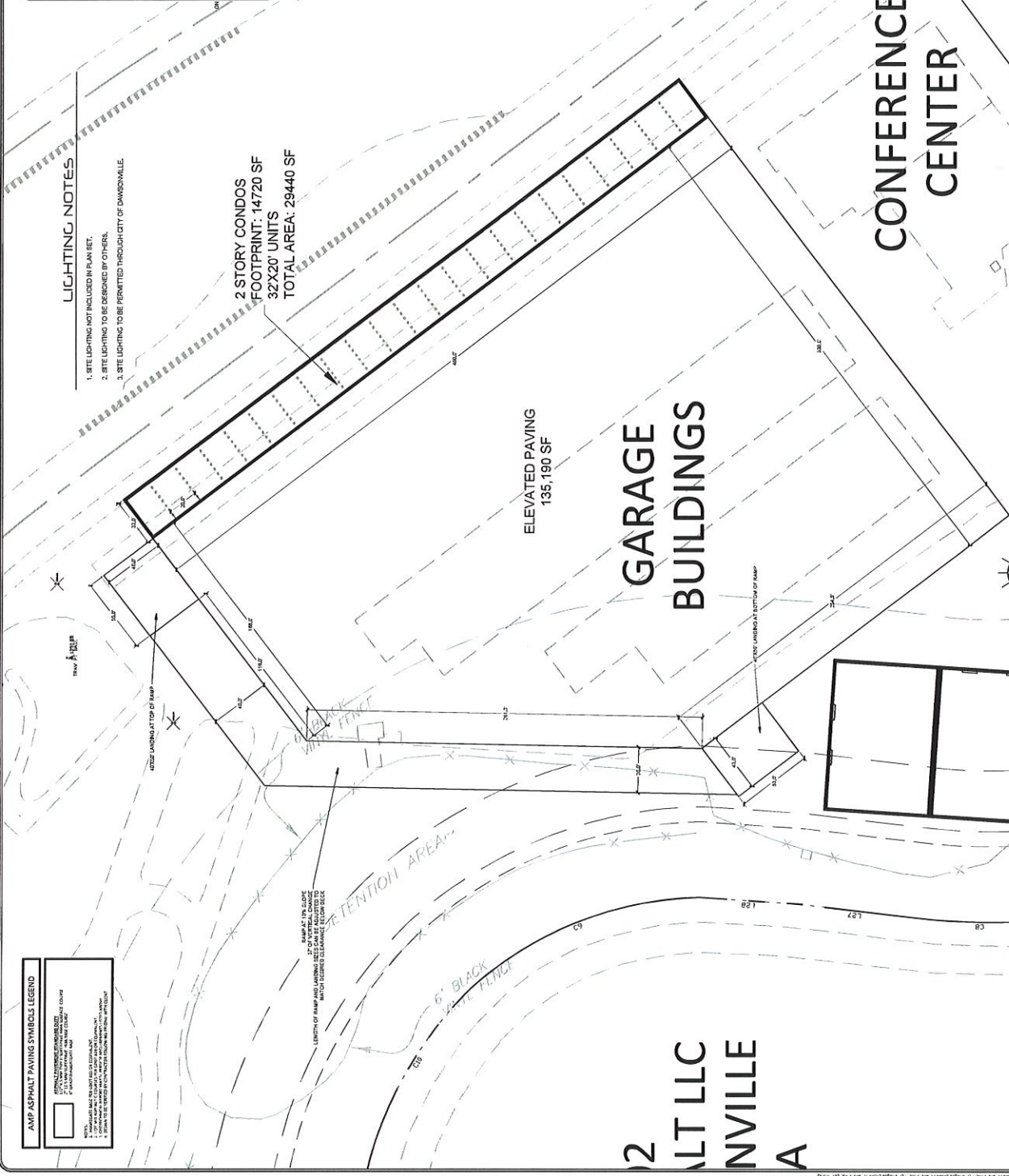
1. SITE LIGHTING NOT INCLUDED IN PLAN SET.
2. SITE LIGHTING TO BE DESIGNED BY OTHERS.
3. SITE LIGHTING TO BE PERMITTED THROUGH CITY OF DAWSONVILLE.





**GENERAL NOTES**

1. ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF DAWSONVILLE, STATE OF GA REGULATIONS AND CODES, AS WELL AS ALL O.S.H.A. STANDARDS.
2. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY DATED 10/10/2021 BY CIVIL LOGISTIX, INC. IN THE CITY OF DAWSONVILLE, GA 30534. DATED 10/25/21. REVISED DRAWING 10/26/21.
3. ACCORDING TO INITIAL DEVELOPMENT GRANT PREPARED BY GRANT BUREAU & ASSOCIATES, DATED 06/26/2018, PORTIONS OF THE SUBJECT PROPERTY OF THIS SURVEY WAS ASSIGNED TO FLOOD ZONE "A", WHICH IS PART OF THE "100 YEAR FLOOD ZONE".
4. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE "LEASE" DIMENSIONS. FOR ACTUAL DIMENSIONS, SEE ARCHITECTURAL PLANS. EMISSIONS TO CONCERN OUTRIGGER ARE TO FACE OF CURB.
5. SITE WORK CONTRACTOR IS RESPONSIBLE FOR WORK TO WITHIN 5' OF THE BUILDING. ALL OTHER CONSTRUCTION WITHIN CONSTRUCTION LIMITS ARE TO BE HANDLED, REMOVED, OR REINSTALLED BY THE CONTRACTOR 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
6. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS, INCLUDING GA DOT UTILITY ENCROACHMENT PERMIT.
7. ALL SIGNAGE SHALL COMPLY WITH THE CITY OF DAWSONVILLE ZONING ORDINANCE. A SEPARATE SIGN PERMIT IS REQUIRED.
8. CONSTRUCTION TRAILER USED ON-SITE SHALL BE PERMITTED THROUGH THE CITY OF DAWSONVILLE ZONING ORDINANCE.
9. EXISTING UTILITIES SHALL BE MAINTAINED AS MUCH AS POSSIBLE. ANY NEW UTILITIES SHALL BE INSTALLED WITHIN THE SITE. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN AREAS WHICH RESTRICT SIGHT DISTANCE.
10. THE EXACT LOCATION OF HANDICAP RAMPS SHALL BE COORDINATED WITH THE APPLICABLE ADA ACCESSIBILITY ROUTE, AND CONTRACTOR SHALL MAINTAIN A SLOPE OF 1% AND MAX CROSS SLOPE OF .2%.
11. ALL SIDEWALKS ARE TO BE INSTALLED PER ADA STANDARDS. SIDEWALKS TO HAVE WAY SLOPE OF 1% AND MAX CROSS SLOPE OF .2%.
12. CONTRACTOR SHALL NOTIFY ENGINEER SHOULD ANY FIELD CONDITIONS BE NOTED THAT DIFFER FROM THE DRAWING.
13. SITE CONTRACTOR SHALL FURNISH "SHIELD" DIMENSIONS INDICATING ALL CHANGES AND DEVIATIONS TO THIS DRAWING TO THE CITY OF DAWSONVILLE, STATE OF GEORGIA, ROAD IN THE CITY OF DAWSONVILLE, DAWSON COUNTY, STATE OF GEORGIA.
14. OWNER'S INFORMATION: JERRY BAY PORTER, 20 DICK THURMOND RD, DAWSONVILLE, GA 30534. PHONE (601) 263-9436. CONTACT: JERRY BAY PORTER.
15. ENGINEER: CIVIL LOGISTIX, LLC, 500 SUN VALLEY DRIVE, ROSWELL, GA 30076. PHONE (404) 594-4103. CONTACT: DAVID WHITE, CIVILLOGISTIX.COM.
16. BUILDING LOCATION IS TO THE OUTSIDE FACE OF BLOCK. CONTRACTOR TO COORDINATE AND VERIFY EXISTING UTILITY LOCATIONS AND MARK WITH ARCHITECTURAL DIMENSIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL UTILITIES AND ADJUSTING AS NECESSARY TO BE IN ACCORDANCE WITH THE CITY OF DAWSONVILLE ZONING ORDINANCE AND ALL APPLICABLE REGULATIONS.
17. ALL STRUCTURES, FENCES, OR OTHER OBJECTS MAY BE LOCATED WITHIN A DRAINAGE DISTRICT. CONTRACTOR SHALL VERIFY THIS INFORMATION WITH THE CITY OF DAWSONVILLE. CONTRACTOR SHALL BE IDENTIFIED WITH ORANGE FOUR-FOOT TRESA-PASSIVE FENCING PRIOR TO ANY LAND DISTURBANCE.
18. ALL ZONING VIOLATIONS SHALL BE IDENTIFIED WITH ORANGE FOUR-FOOT TRESA-PASSIVE FENCING PRIOR TO ANY LAND DISTURBANCE.
19. THE CITY OF DAWSONVILLE SHALL BE ADVISED OF ANY VIOLATIONS OF THE OFFICIAL SPECIFICATIONS THAT ARE SITE SPECIFIC AND MUST BE CORRECTED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER. ALL VIOLATIONS SHALL BE CORRECTED WITHIN THIRTY (30) DAYS IN WRITING. ALL VIOLATIONS SHALL BE CORRECTED WITHIN THIRTY (30) DAYS.
20. NO OVERNIGHT PARKING TO BE ALLOWED OUTSIDE OF BUILDING.
21. WORK HOURS SHALL BE BETWEEN THE HOURS OF 7:30 AM AND DUE TO MONDAY FREEDAY AND 5:00 AM AND DUE ON SATURDAY. NO CONSTRUCTION WORK ON SUNDAY.
22. THE SITE IS CURRENTLY ZONED RECREATION INDUSTRIAL WITHIN THE CITY OF DAWSONVILLE, GA.
23. INTERSECTION OF 20 DICK THURMOND RD AND US 421. REFER TO STREET MAP FOR THE FLOOD ZONE DETERMINATION.
24. THE SITE IS CURRENTLY ZONED RECREATION INDUSTRIAL WITHIN THE CITY OF DAWSONVILLE, GA.



**LIGHTING NOTES**

1. SITE LIGHTING NOT INCLUDED IN PLAN SET.
2. SITE LIGHTING TO BE DESIGNED BY OTHERS.
3. SITE LIGHTING TO BE PERMITTED THROUGH CITY OF DAWSONVILLE.

**AMP ASPHALT PAVING SYMBOLS LEGEND**

[Symbol]	AMP ASPHALT PAVING SYMBOLS LEGEND
[Symbol]	INTERNATIONAL SYMBOLS
[Symbol]	INTERNATIONAL SYMBOLS
[Symbol]	INTERNATIONAL SYMBOLS
[Symbol]	INTERNATIONAL SYMBOLS



**2**  
**ALT LLC**  
**DAWSONVILLE**  
**A**

**CONFERENCE CENTER**

**GARAGE BUILDINGS**

**2 STORY CONDOS**  
**FOOTPRINT: 14720 SF**  
**32X20' UNITS**  
**TOTAL AREA: 29440 SF**

**ELEVATED PAVING**  
**135,190 SF**

AREA OF THE BLOCK  
 LENGTH OF RAMP AND LANDING  
 1/2" OF VERTICAL CHANGE  
 4" MINIMUM CLEARANCE BELOW BLOCK

6" BLACK  
 FENCE

FLOOD ZONE

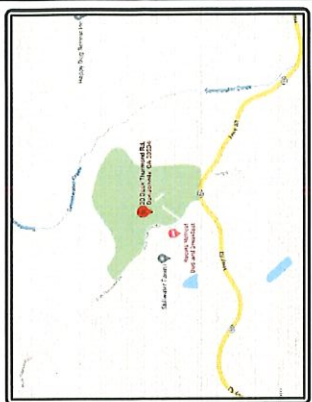
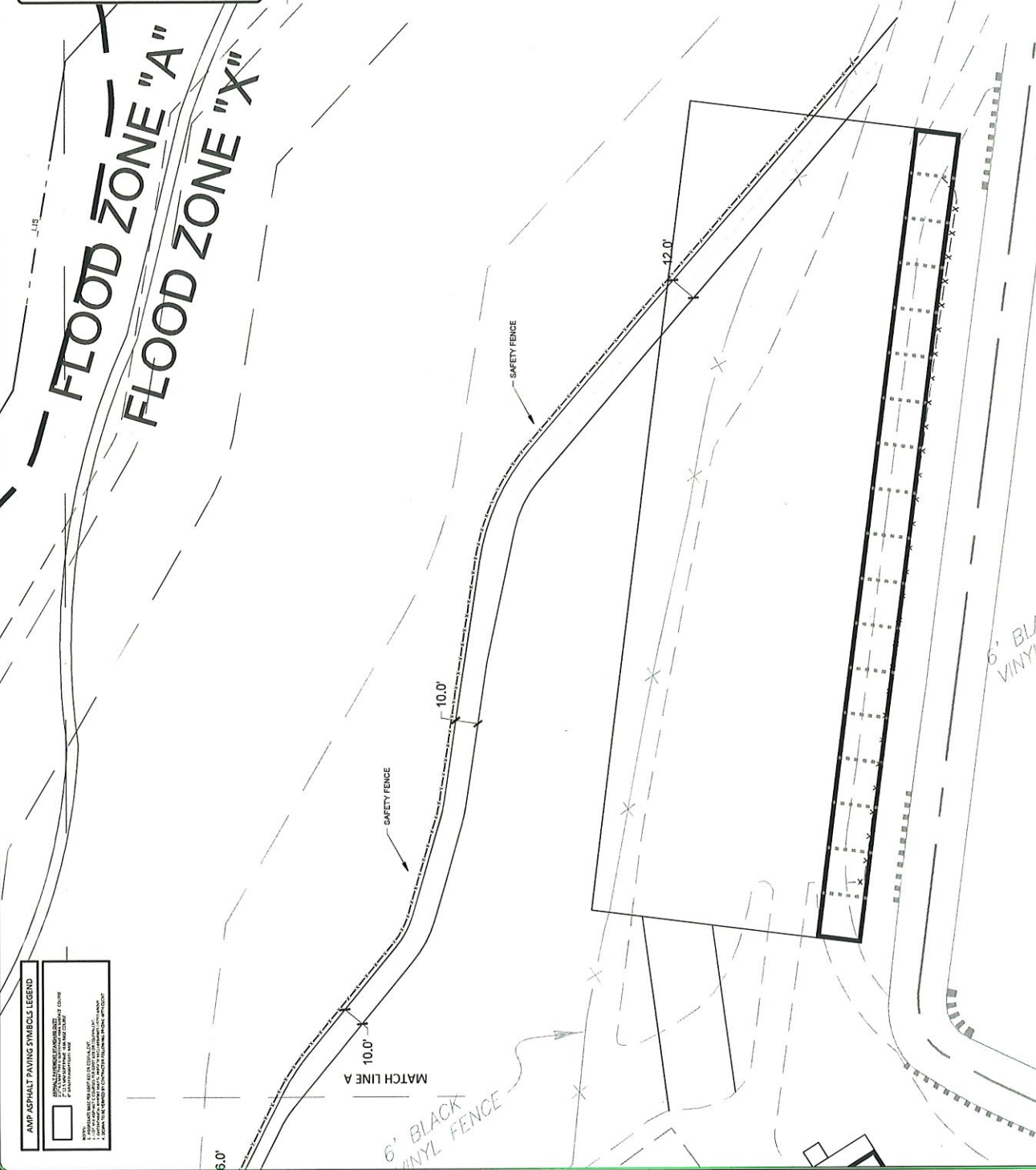
100' RAMP

40' RAMP AT TOP OF RAMP

SEE SHEET 02-09-24 FOR MAP

**ASPHALT PAVING SYMBOLS LEGEND**

(Symbol)	6" ASPHALT PAVING
(Symbol)	4" ASPHALT PAVING
(Symbol)	CONCRETE
(Symbol)	GRASS
(Symbol)	WOOD
(Symbol)	IRON
(Symbol)	COPPER
(Symbol)	ZINC
(Symbol)	STEEL
(Symbol)	ALUMINUM
(Symbol)	GALVANEAL
(Symbol)	BRASS
(Symbol)	SILVER
(Symbol)	GOLD
(Symbol)	PLATE
(Symbol)	PIPE
(Symbol)	FLANGE
(Symbol)	VALVE
(Symbol)	MANHOLE
(Symbol)	BOX
(Symbol)	WELL
(Symbol)	REINFORCEMENT
(Symbol)	REINFORCEMENT



**CIVILICISTIX**  
 500 SUN VALLEY DRIVE, STE H3, ROSWELL, GA 30076  
 (404) 594-4403 - CIVILICISTIX.COM

**SITE PLAN: GOLF CART PATH IMPROVEMENTS**  
 20 DUCK TURNPIKE RD  
 DAWSONVILLE, GA 30534

**C203.1**  
**21320**  
**OCTOBER 31, 2022**

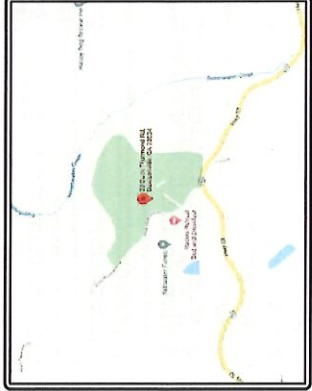
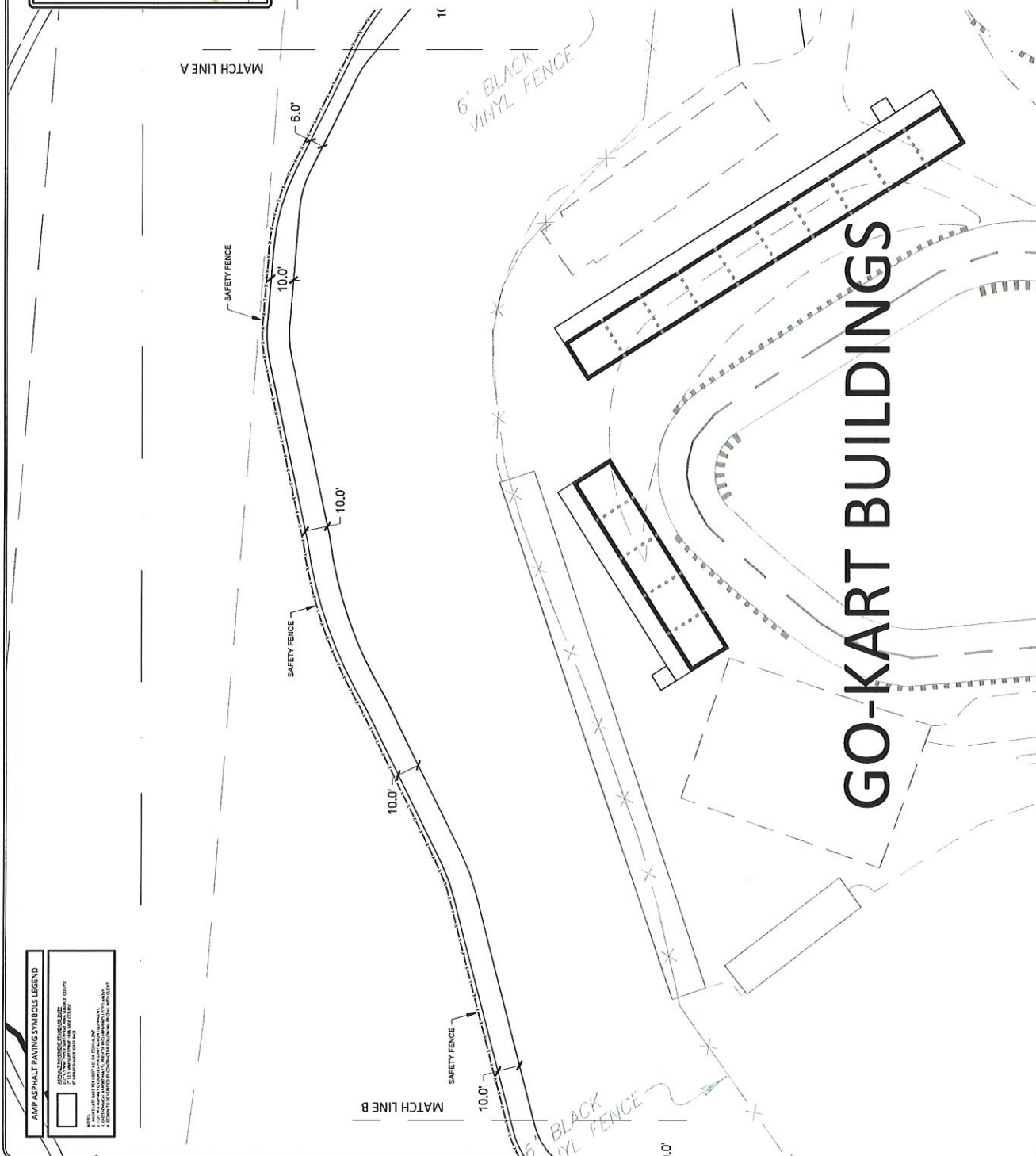
**GENERAL NOTES**

1. ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF DAWSONVILLE STATE OF GA REGULATIONS AND CODES, AS WELL AS ALL OSHA STANDARDS.
2. SITE BOUNDARY, PROPERTY, UTILITY AND ROAD INFORMATION FROM A SURVEY DATED 08/15/2022 BY JEFFREY L. HAYES, SURVEYOR, P.L.L.C., LAWRENCEVILLE, GA. SODM DATED 02-14-2019, RECORDED BOOKS: 81-08617.
3. ACCORDING TO INITIAL DEVELOPMENT SURVEY, PREPARED BY GRANT SIPHERD & ASSOCIATES, L.L.C., LAWRENCEVILLE, GA. SODM DATED 02-14-2019, RECORDED BOOKS: 81-08617. A FLOOD HAZARD STUDY HAS BEEN FOUND TO RESIDE IN ZONE "X", WHICH IS INSIDE THE LIMITS OF THE 100 YEAR FLOOD ZONE.
4. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE "LEASE DIMENSIONS". FOR ACTUAL DIMENSIONS, CONTACT THE ARCHITECTURAL FIRM. DIMENSIONS TO CONC. CURB & GUTTER ARE TO FACE OF CURB.
5. SITE WORK CONTRACTOR IS RESPONSIBLE FOR WORK TO WITHIN 4% OF THE BUILDING.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DAWSONVILLE, GA. SODM DATED 02-14-2019, RECORDED BOOKS: 81-08617.
7. CONTRACTOR IS TO NOTIFY CITY INSPECTORS 72-HOURS PRIORS TO THE START OF CONSTRUCTION.
8. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS, INCLUDING GA DOT UTILITY ENCROACHMENT PERMIT.
9. ALL SIGNAGE SHALL COMPLY WITH THE CITY OF DAWSONVILLE ZONING ORDINANCE. A SEPARATE SIGN PERMIT IS REQUIRED.
10. ALL CONSTRUCTION SHALL BE PERMITTED THROUGH THE CITY OF DAWSONVILLE PLANNING AND ZONING DEPARTMENT.
11. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN REQUIRED RIGHT-OF-WAY, AND MUST BE STORED WITHIN THE SITE. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN AREAS WITH RESTRICTED RIGHT DISTANCE.
12. THE TECHNICAL CODES AND REGULATIONS SHALL BE OBSERVED AT THE INTERSECTIONS OF EACH APPLICABLE SIDEWALK, ACCESSIBLE ROUTE, AND ENTRANCE DRIVES.
13. ALL SIDEWALKS ARE TO BE INSTALLED PER ADA STANDARDS. SIDEWALKS TO HAVE MAX SLOPE OF 3% AND MAX CROSS SLOPE OF 2%.
14. CONTRACTOR SHALL NOTIFY ENGINEER SHOULD ANY FIELD CONDITIONS BE NOTED THAT DEVIATE FROM THE CONTRACT.
15. CONTRACTOR SHALL FURNISH "SUBMITTALS" DRAWINGS INDICATING ALL CHANGES AND DEVIATIONS.
16. PROJECT LOCATION: 20 DUCK TURNPIKE CORNER OF HWY 54 AND DUCK TURNPIKE ROAD IN THE CITY OF DAWSONVILLE DAWSON COUNTY, STATE OF GEORGIA.
17. OWNERS INFORMATION: JEREMY PORTER, 20 DUCK TURNPIKE RD, DAWSONVILLE, GA 30534. PHONE: (404) 593-6435; CONTACT: JEREMY PORTER.
18. ENGINEER: CIVILICISTIX, LLC 500 SUN VALLEY DRIVE, ROSWELL, GA 30076. PHONE: (404) 594-4403; CONTACT: DAVID VINTE, CIVILICISTIX.COM.
19. THE CITY OF DAWSONVILLE, GA SODM DATED 02-14-2019, RECORDED BOOKS: 81-08617, WHICH IS CURRENTLY ZONED RECREATIONAL, COMMERCIAL, AND RESIDENTIAL.
20. INSURANCE POLICIES: CONTRACTOR SHALL PROVIDE ALL REQUIRED COMMERCIAL LIABILITY AND AUTOMOBILE LIABILITY INSURANCE COVERS WITHIN 48 HOURS OF COMMENCEMENT OF CONSTRUCTION AND MUST BE A VIOLATION OF THE CITY OF DAWSONVILLE ZONING ORDINANCE PROHIBITING UNPERMITTED HIGH-CAPACITY DEVELOPMENT.
21. THE CITY OF DAWSONVILLE, GA SODM DATED 02-14-2019, RECORDED BOOKS: 81-08617, WHICH IS CURRENTLY ZONED RECREATIONAL, COMMERCIAL, AND RESIDENTIAL. THE CITY OF DAWSONVILLE, GA SODM DATED 02-14-2019, RECORDED BOOKS: 81-08617, WHICH IS CURRENTLY ZONED RECREATIONAL, COMMERCIAL, AND RESIDENTIAL.
22. CITY OF DAWSONVILLE INSPECTOR 24 HOURS BEFORE BEGINNING PHASE OF CONSTRUCTION (900) 390-6320.
23. ALL ZONING BUFFERS SHALL BE IDENTIFIED WITH ORANGE FOUR-FOOT TREE-SIZE FENCING PRIOR TO ANY CONSTRUCTION.
24. ALL ZONING BUFFERS SHALL BE IDENTIFIED WITH ORANGE FOUR-FOOT TREE-SIZE FENCING PRIOR TO ANY CONSTRUCTION.
25. THE CITY OF DAWSONVILLE, GA SODM DATED 02-14-2019, RECORDED BOOKS: 81-08617, WHICH IS CURRENTLY ZONED RECREATIONAL, COMMERCIAL, AND RESIDENTIAL. THE CITY OF DAWSONVILLE, GA SODM DATED 02-14-2019, RECORDED BOOKS: 81-08617, WHICH IS CURRENTLY ZONED RECREATIONAL, COMMERCIAL, AND RESIDENTIAL.
26. ALL ZONING BUFFERS SHALL BE IDENTIFIED WITH ORANGE FOUR-FOOT TREE-SIZE FENCING PRIOR TO ANY CONSTRUCTION.
27. THE CITY OF DAWSONVILLE, GA SODM DATED 02-14-2019, RECORDED BOOKS: 81-08617, WHICH IS CURRENTLY ZONED RECREATIONAL, COMMERCIAL, AND RESIDENTIAL. THE CITY OF DAWSONVILLE, GA SODM DATED 02-14-2019, RECORDED BOOKS: 81-08617, WHICH IS CURRENTLY ZONED RECREATIONAL, COMMERCIAL, AND RESIDENTIAL.
28. THE CITY OF DAWSONVILLE, GA SODM DATED 02-14-2019, RECORDED BOOKS: 81-08617, WHICH IS CURRENTLY ZONED RECREATIONAL, COMMERCIAL, AND RESIDENTIAL. THE CITY OF DAWSONVILLE, GA SODM DATED 02-14-2019, RECORDED BOOKS: 81-08617, WHICH IS CURRENTLY ZONED RECREATIONAL, COMMERCIAL, AND RESIDENTIAL.
29. THE CITY OF DAWSONVILLE, GA SODM DATED 02-14-2019, RECORDED BOOKS: 81-08617, WHICH IS CURRENTLY ZONED RECREATIONAL, COMMERCIAL, AND RESIDENTIAL. THE CITY OF DAWSONVILLE, GA SODM DATED 02-14-2019, RECORDED BOOKS: 81-08617, WHICH IS CURRENTLY ZONED RECREATIONAL, COMMERCIAL, AND RESIDENTIAL.
30. THE CITY OF DAWSONVILLE, GA SODM DATED 02-14-2019, RECORDED BOOKS: 81-08617, WHICH IS CURRENTLY ZONED RECREATIONAL, COMMERCIAL, AND RESIDENTIAL. THE CITY OF DAWSONVILLE, GA SODM DATED 02-14-2019, RECORDED BOOKS: 81-08617, WHICH IS CURRENTLY ZONED RECREATIONAL, COMMERCIAL, AND RESIDENTIAL.



**AMP ASPHALT PAVING SYMBOLS LEGEND**

	1/2\"/>
	1\"/>
	1 1/2\"/>
	2\"/>
	3\"/>
	4\"/>
	6\"/>
	8\"/>
	12\"/>



**GENERAL NOTES**

1. ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF DAWSONVILLE, STATE OF GA REGULATIONS AND CODES, AS WELL AS ALL O.S.H.A. STANDARDS.
2. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY LAUNDERVILLE, GA 30268 (DATED 02-28-18, REVISION DATE 01-26-17, SHEET 1A).
3. ACCORDING TO INITIAL DEVELOPMENT SUBMIT PREPARED BY GRANT SHERIDAN & ASSOCIATES, DATED 02-28-18, PORTIONS OF THE SUBJECT PROPERTY OF THIS SURVEY HAS BEEN FOUND TO RESIDE IN ZONE "A", WHICH IS INSIDE THE LIMITS OF THE "100 YEAR FLOOD ZONE".
4. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE "LEASE" DIMENSIONS. FOR ACTUAL DIMENSIONS, SEE ARCHITECTURAL PLANS. DIMENSIONS TO CONING CURBS & GUTTER ARE TO CENTERLINE OF CURB.
5. SITE WORK CONTRACTOR IS RESPONSIBLE FOR WORK TO WITHIN 5' OF THE BUILDING. ALL UTILITIES AND STRUCTURES WITHIN AN ENCROACHMENT PERMIT ARE TO BE MAINTAINED, REMOVED OR RELOCATED AS NOTED ON THE ENCROACHMENT PERMIT.
6. CONTRACTOR IS TO NOTIFY CITY INSPECTOR 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
7. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS, INCLUDING GA DOT UTILITY ENCROACHMENT PERMIT.
8. ALL SIGNAGE SHALL COMPLY WITH THE CITY OF DAWSONVILLE ZONING ORDINANCE. A SEPARATE SIGN PERMIT IS REQUIRED.
9. CONSTRUCTION TRAILER USED ON-SITE SHALL BE PERMITTED THROUGH THE CITY OF DAWSONVILLE ZONING ORDINANCE. THE TRAILER SHALL BE MAINTAINED AND OPERATED IN ACCORDANCE WITH THE CITY OF DAWSONVILLE ZONING ORDINANCE. THE TRAILER SHALL NOT BE PARKED IN AREAS WHICH RESTRICT SIGHT DISTANCE.
10. THE EXACT LOCATION OF MAKEUP RAMPS SHALL BE COORDINATED WITH THE APPLICABLE STATE AND FEDERAL AGENCIES. ALL TRAFFIC SIGNALS AND TRAFFIC SIGNALS SHALL BE INSTALLED PER O.A. STANDARDS. SIGNALS TO HAVE WAY SLOPE OF 2% AND MAX CROSS SLOPE OF 2%.
11. CONTRACTOR SHALL NOTIFY ENGINEER SHOULD ANY FIELD CONDITIONS BE NOTED THAT DIFFER FROM THE SURVEY.
12. SITE CONTRACTOR SHALL FURNISH 1/4" DIA. DIMENSIONS INDICATING ALL CHANGES AND DIMENSIONS TO EACH BUILDING'S CORNER, AS WELL AS DUCK THUMBROAD ROAD IN THE CITY OF DAWSONVILLE, DAWSON COUNTY, STATE OF GEORGIA.
13. OWNER'S INFORMATION: JERRY PORTER, 20 DUCK THUMBROAD RD, DAWSONVILLE, GA 30258, PHONE (404) 203-8432, CONTACT: JERRY PORTER.
14. ENGINEER: CIVIL CORTEX, LLC, 205 SUN VALLEY DRIVE, ROSWELL, GA 30058, PHONE (404) 584-4420, CONTACT: DAVID WHITE, CIVILCORTEX.COM.
15. BUILDING LOCATION TO THE OUTSIDE FACE OF BLOCK. CONTRACTOR TO COORDINATE AND VERIFY EXISTING BUILDING'S LOCATION WITH ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONSIDER TO BE A VIOLATION OF THE CITY ORDINANCE PROHIBITING UNLAWFUL RECREATION ENCROACHMENT.
16. THE CITY OF DAWSONVILLE INSPECTOR SHALL BE LOCATED WITHIN A 24 HOUR CONSTRUCTION (NOT TRUCKS).
17. ANY LANDING BUFFER SHALL BE IDENTIFIED WITH ORANGE FOUR FOOT TREE-SAVE FENCING PRIOR TO ANY LAND BUFFERING.
18. THE CITY OF DAWSONVILLE INSPECTOR SHALL BE NOTIFIED 72 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY SPECIFIC AND MUST BE DIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY SPECIFIC AND MUST BE DIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY SPECIFIC AND MUST BE DIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
19. NO OVERNIGHT PARKING TO BE ALLOWED OUTSIDE OF BUILDING.
20. WORK HOURS SHALL BE BETWEEN THE HOURS OF 7:30 AM AND DARK (MIDNIGHT) AND 12:30 AM AND DARK (MIDNIGHT). NO CONSTRUCTION WORK ON SUNDAY.
21. THE SITE IS CURRENTLY ZONED RECREATION INDUSTRIAL WITHIN THE CITY OF DAWSONVILLE, GA. THE CITY OF DAWSONVILLE INSPECTOR SHALL BE NOTIFIED 72 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY SPECIFIC AND MUST BE DIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
22. INTERIOR STREETS TO BE MAINTAINED PERMANENTLY.



These drawings were prepared by CIVIL LOGISTICS, INC. (CIVILCORTEX) for AMP FUTURE IMPROVEMENTS, 20 DUCK THUMBROAD, DAWSONVILLE, GA 30254. CIVILCORTEX, INC. IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS. CIVILCORTEX, INC. IS NOT RESPONSIBLE FOR ANY CONSTRUCTION COSTS OR DELAYS. CIVILCORTEX, INC. IS NOT RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS. CIVILCORTEX, INC. IS NOT RESPONSIBLE FOR ANY OTHER MATTERS. CIVILCORTEX, INC. IS NOT RESPONSIBLE FOR ANY OTHER MATTERS.







