

AGENDA
CITY COUNCIL REGULAR MEETING AND WORK SESSION
G.L. Gilleland Council Chambers on 2nd Floor
Monday, September 22, 2025
5:00 P.M.

1. Call to Order
2. Roll Call
3. Invocation and Pledge
4. Announcements
5. Approval of the Agenda
6. Public Input
7. Consent Agenda
 - a. Approve Minutes
 - Regular Meeting held September 8, 2025
 - b. Approve 2025 Georgia Downtown Association Conference – CDP Training
8. Present Donation to Georgia State Patrol Post #37
9. Planning Commission Post #2 Appointment
10. Employee Recognition

PUBLIC HEARING

11. ZA-C2500171: PR Land Investments, LLC has petitioned for an amendment to the official zoning map applicable to the properties provided below. The applicant proposes the properties be rezoned from R-1 and R-3: Restricted Single-Family Residential District and Single-Family Residential District to RPC: Residential Planned Community, for the development of 120 single-family semi-detached homes. Tax Map Parcel 093 010 (592 HWY 9 S), Tax Map Parcel 093 011 (93 Southwest Border Ave), Tax Map Parcel D02 004, and Tax Map Parcel D04 010 (416 HWY 9 S). Public Hearing Dates: Planning Commission July 14, 2025, at 5:30 p.m. and City Council August 4, 2025, at 5:00 p.m., tabled to September 22, 2025. City Council for a decision on October 20, 2025.
12. ZA-C2500169: Spicer Group Inc. on behalf of Dede Allen, Habitat for Humanity - NCG has petitioned for an amendment to the official zoning map applicable to the properties provided below. The applicant proposes the properties be rezoned from R-2: Single-Family Residential District to RCT: Residential Cottage, for the development of a micro-planned/pocket cottage development. Tax map parcel D01 047 005 (Stegall Place), tax map parcel D01 047 006 (Stegall Place), tax map parcel D01 047 007 (Stegall Place), tax map parcel D01 047 008 (Stegall Place), tax map parcel D01 047 009, and tax map parcel D01 047 010. Public Hearing Dates: Planning Commission on September 15, 2025 at 5:30 p.m.; City Council, September 22, 2025 at 5:30 p.m.
13. VAR-C2500170 : Spicer Group Inc. on behalf of Dede Allen, Habitat for Humanity - NCG has petitioned for a variance from Sec. 2103.9. Specifically, they request a reduction of the minimum required undisturbed buffer width for the proposed RCT: Residential Cottage zone from 50 feet to 40 feet at the rear (north) and side (east and west) property lines, applicable to the properties below. Tax map parcel D01 047 005 (Stegall Place), tax map parcel D01 047 006 (Stegall Place), tax map parcel D01 047 007 (Stegall Place), tax map parcel D01 047 008 (Stegall Place), tax map parcel D01 047 009, and tax map parcel D01 047 010. Public Hearing: City Council on September 22, 2025 at 5:00 p.m.

BUSINESS

14. Request to Award RFP #25-RFP-001:IT Managed Services

WORK SESSION

15. Consideration for Door Installation between Granddaddy Mimms, Dawsonville History Museum and Station House
16. 2026 Meeting Calendar

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STAFF REPORTS

- 17. Jacob Evans, City Manager
- 18. Robin Gazaway, Finance Director

MAYOR AND COUNCIL REPORTS

EXECUTIVE SESSION, IF NEEDED: Pending or Potential Litigation, Real Estate Acquisition and/or Personnel

RESERVED FOR POTENTIAL ACTION ON EXECUTIVE SESSION ITEMS, IF NEEDED

ADJOURNMENT

The next regularly scheduled City Council meeting is Monday, October 20, 2025.

Those persons with disabilities who require reasonable accommodations in order to allow them to observe and/or participate in this meeting or who have questions regarding the accessibility of the meeting should contact the Clerk at Dawsonville City Hall at 706-265-3256 at least two (2) business days prior to the meeting.



DAWSONVILLE CITY COUNCIL
EXECUTIVE SUMMARY FOR
AGENDA ITEM # 7

SUBJECT: CONSENT AGENDA

CITY COUNCIL MEETING DATE: 09/22/2025

PURPOSE FOR REQUEST:

**CONSIDERATION AND APPROVAL OF ITEMS BELOW; SEE ATTACHED
SUPPORTING DOCUMENTS**

- a. Approve Minutes
 - Regular Meeting held September 8, 2025
 - b. Approve 2025 Georgia Downtown Association Conference – CDP Training
-



DAWSONVILLE CITY COUNCIL
EXECUTIVE SUMMARY FOR
AGENDA ITEM # 7a

SUBJECT: APPROVE MINUTES

CITY COUNCIL MEETING DATE: 09/22/2025

BUDGET INFORMATION: GL ACCOUNT # NA

☐ Funds Available from: Annual Budget Capital Budget Other

☐ Budget Amendment Request from Reserve: Enterprise Fund General Fund

PURPOSE FOR REQUEST:

TO APPROVE THE MINUTES FROM:

- **REGULAR MEETING HELD SEPTEMBER 8, 2025**
-

HISTORY/ FACTS / ISSUES:

OPTIONS:

AMEND OR APPROVE AS PRESENTED

RECOMMENDED SAMPLE MOTION:

REQUESTED BY: Beverly Banister, City Clerk

MINUTES
CITY COUNCIL REGULAR MEETING
G.L. Gilleland Council Chambers on 2nd Floor
Monday, September 8, 2025
5:00 P.M.

1. **CALL TO ORDER:** Mayor John Walden called the meeting to order at 5:00 pm.
2. **ROLL CALL:** Councilmember William Illg, Councilmember Caleb Phillips, Councilmember Sandy Sawyer, Council Member Mark French, City Attorney Kevin Tallant, City Manager Jacob Evans, City Clerk Beverly Banister, Public Works Director Trampas Hansard, Utilities Director Jacob Barr, Finance Director Robin Gazaway, Director of Downtown Development Amanda Edmondson and Zoning Administrative Assistant Stacy Harris.
3. **INVOCATION AND PLEDGE:** Invocation and pledge were led by Councilmember French.
4. **ANNOUNCEMENTS:** Mayor Walden announced Food Truck Friday is on September 12, 2025 beginning at 5:00 p.m. and the DCSO Public Safety Event will be there as well.
5. **APPROVAL OF THE AGENDA:** Motion to approve the agenda as presented made by W. Illg; second by C. Phillips. Vote carried unanimously in favor.
6. **PUBLIC INPUT:** The following persons spoke during public input:

- Michael Miller, 285 Parkway 575, Woodstock, GA – He spoke regarding an upcoming zoning amendment request to correct any public opinion which has labeled their development as disingenuous or attempting to “skirt” the zoning ordinance. He provided the history of the zoning amendment request and stated they have returned asking for fewer lots, more property and a forty-percent reduction from the original proposal. He also provided information regarding the Planning Department’s recommendation to deny the request which included an interpretation of the term “semi-detached” in the City’s ordinance and stated the City attorney reported in a public meeting that “semi-detached” could include multi-family. Mr. Miller concluded the Planning Department’s recommendation to deny could have been based on an incorrect interpretation of the term “semi-detached”. He then provided an overview of the development plans which he said includes significant infrastructure improvements at no cost to the City and a donation of ten-acres to the City. He reiterated their intention is not disingenuous and gave various examples of semi-detached homes.

The five-minute allowance for Public Input had expired. Motion made by W. Illg to add one additional minute of time for public input; second by M. French. Vote carried unanimously in favor.

Lastly Mr. Miller explained the ten-acre property donation to the City is not filled with flood plains and wetlands as mentioned at a previous public hearing; he provided a FEMA flood map overlayed with the development map and no flood plains or wetlands lies within the ten-acre property.

- Corey Guthrie, 283 Casi Ridge, Dawsonville, GA - He spoke on agenda item #11 and asked the Council to consider allowing community members who work and live within the City, such as himself, to form a committee to help with the changes to the code and other considerations that the Council may find valuable.
7. **CONSENT AGENDA:** Motion to approve the consent agenda for the following items (a, b) made by S. Sawyer; second by C. Phillips. Mayor Walden stated he had requested to move the solid waste collection service day back to Monday; however, Red Oak Sanitation could not accommodate the request at this time. Vote carried unanimously in favor.
 - a. Approve Minutes
 - Regular Meeting and Work Session held August 18, 2025
 - Executive Session held August 18, 2025
 - b. Approve 2026 Solid Waste Collection Service Agreement with Red Oak Sanitation

BUSINESS

8. **HUNTING ON CITY PROPERTY – TABLED FROM AUGUST 18, 2025:** Motion to suspend all hunting on the City’s property for this hunting season and revisit the discussion next year made by W. Illg; second by M. French. Councilmember French said he would like to invite the employees who

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traditionally hunt on the property into the discussion in order to share concerns and questions from both sides of the table and attempt to find a solution. He also agrees no hunting should be permitted on City property this season. Mayor Walden asked if the motion could be amended to include "No Hunting" signs on City property; Councilmember Illg amended his motion to include "No Hunting" signs; second by M. French. Vote carried unanimously in favor to amend the motion. Vote carried unanimously in favor to approve the motion.

- 9. MILLAGE RATE FOR TAX YEAR 2025:** Motion to set the 2025 millage rate to 7.603 and roll it back to zero made by M. French; second by W. Illg. Vote carried unanimously in favor.
- 10. T-MOBILE HOMETOWN GRANT APPLICATION:** Motion to approve the T-Mobile Hometown Grant Application as presented made by W. Illg; second by S. Sawyer. Vote carried unanimously in favor.
- 11. PROPOSAL FROM CPL FOR ORDINANCE REVISION SERVICES:** Motion to approve the proposal from CPL to include review of the Zoning Ordinances (Subpart B and Appendix A) and the existing Land Development Regulations (Subpart B) in the amount of \$42,000 to be paid out of the FY 2026 General Fund budget made by M. French; second by C. Phillips. Vote carried unanimously in favor.

ADJOURNMENT

At 5:20 p.m. a motion to adjourn the meeting was made by S. Sawyer; second by C. Phillips. Vote carried unanimously in favor.

Approved this 22nd day of September, 2025

By: CITY OF DAWSONVILLE

John Walden, Mayor

Caleb Phillips, Councilmember Post 1

William Illg, Councilmember Post 2

Sandra Sawyer, Councilmember Post 3

Mark French, Councilmember Post 4

Attest: _____
Beverly A. Banister, City Clerk



DAWSONVILLE CITY COUNCIL
EXECUTIVE SUMMARY FOR
AGENDA ITEM # 7b

SUBJECT: **APPROVE 2025 GEORGIA DOWNTOWN ASSOCIATION CONFERENCE – CDP TRAINING**

CITY COUNCIL MEETING DATE: 09/22/2025

BUDGET INFORMATION: GL ACCOUNT # _____

☐ Funds Available from: _____ Annual Budget _____ Capital Budget Other _____

☐ Budget Amendment Request from Reserve: _____ Enterprise Fund _____ General Fund

PURPOSE FOR REQUEST:

TO APPROVE GEORGIA DOWNTOWN ASSOCIATION TRAINING FOR WILLIAM ILLG AND CALEB PHILLIPS TO RECEIVE PER DIEM OF \$100 EACH FOR ATTENDANCE

HISTORY/ FACTS / ISSUES:

TRAINING TOOK PLACE IN GAINESVILLE ON AUGUST 25, 2025

OPTIONS:

RECOMMENDED SAMPLE MOTION:

APPROVE AS PRESENTED

REQUESTED BY: Beverly A. Banister, City Clerk

Event Details

2025 Georgia Downtown Association Conference - CDP Training: Developing Your Toolbox for Developing (Funding, Resources, & Tools II)

August 25, 2025 08:30 AM

Location

Downtown Gainesville

Gainesville, GA

[Get Directions](#)

Registrant Information

Mr. Caleb Phillips

415 Hwy 53 East, Ste. 100 Dawsonville, GA 30534

caleb.phillips@dawsonville-ga.gov

Thank you for your registration! Please verify your contact information and reply with any necessary changes.

General Event Information

This year's conference registration fee includes admission to Opening and Closing Keynote Address, Awards Reception, Conference Educational Sessions/Workshops, Refreshment Breaks, Silent Auction and program materials. To learn more, www.georgiadowntownassociation.org/conference.

Online Registration Deadline: August 8, 2025. All registrations and payments received after this date will be processed as an on-site, and a \$50 processing fee will be applied. Registration fees must be paid in full prior to participation in the conference. Payments may be made by credit card. You must create or sign into your account to register for the conference. Please use the sign-in/registration form on the right-hand side of the screen to get started. Hotel Rooms: GDA has reserved hotel blocks at 4 Gainesville hotels with discounted conference rates.

Please use this [link](#) for information on the hotels and booking links and call-in details. Cancellation Policy: Cancellations received before August 1, will receive a refund less a \$50 processing fee. Written notice of cancellation is required. Refunds will be processed approximately 30 days after the event. Cancellations received after August 1 will not be refunded.

GMA Privacy Legal Disclaimer

<https://www.gacities.com/Legal-Disclaimer>

Dietary Legal Disclaimer

GMA strives to accommodate all guest needs at GMA-hosted events, but we cannot guarantee that food available at GMA-hosted events is completely free from allergens. If you have food allergies, please take necessary precautions, as attending means you accept responsibility for any potential reactions. While we do our best, we are unable to assume liability for food-related concerns. GMA has no control over food provided at events it does not host, even when such events take place in conjunction with or in the same venue as GMA-hosted events. You should reach out directly to the host of such events to discuss any food restrictions.

Registration Item Specific Information

Location Brenau University, Meeting Room B, 301 Main St. SW

Breakfast on your own; lunch will be included

Thank you again for your participation!

Event Details

2025 Georgia Downtown Association Conference - CDP Training: Developing Your Toolbox for Developing (Funding, Resources, & Tools II)

August 25, 2025 08:30 AM

Location

Downtown Gainesville

Gainesville, GA

[Get Directions](#)

Registrant Information

Mr. William Illg

415 Hwy 53 East, Ste. 100 Dawsonville, GA 30534 UNITED STATES

william.illg@dawsonville-ga.gov

Thank you for your registration! Please verify your contact information and reply with any necessary changes.

General Event Information

This year's conference registration fee includes admission to Opening and Closing Keynote Address, Awards Reception, Conference Educational Sessions/Workshops, Refreshment Breaks, Silent Auction and program materials. To learn more, www.georgiadowntownassociation.org/conference.

Online Registration Deadline: August 8, 2025. All registrations and payments received after this date will be processed as an on-site, and a \$50 processing fee will be applied. Registration fees must be paid in full prior to participation in the conference. Payments may be made by credit card. You must create or sign into your account to register for the conference. Please use the sign-in/registration form on the right-hand side of the screen to get started. Hotel Rooms: GDA has reserved hotel blocks at 4 Gainesville hotels with discounted conference rates.

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Registration Item Specific Information

Location Brenau University, Meeting Room B, 301 Main St. SW

Breakfast on your own; lunch will be included

Thank you again for your participation!



DAWSONVILLE CITY COUNCIL EXECUTIVE SUMMARY FOR AGENDA ITEM # 8

SUBJECT: **PRESENT DONATION TO GEORGIA STATE PATROL POST #37**

CITY COUNCIL MEETING DATE: **09/22/2025**

BUDGET INFORMATION: GL ACCOUNT # _____

☐ Funds Available from: _____ Annual Budget _____ Capital Budget Other _____

☐ Budget Amendment Request from Reserve: _____ Enterprise Fund _____ General Fund

PURPOSE FOR REQUEST:

TO PRESENT DONATION TO THE GEORGIA STATE PATROL REPRESENTATIVE FROM POST #37
SGT. JOSH HEDDEN WILL BE IN ATTENDANCE TO RECEIVE THE DONATION

HISTORY/ FACTS / ISSUES

CITY COUNCIL APPROVED A RESOLUTION ON 07/21/2025 TO PROVIDE THE DONATION OF TWELVE TINT METERS TOTALLING \$2,078.00

OPTIONS:

RECOMMENDED SAMPLE MOTION:

REQUESTED BY: Jacob Evans, City Manager



DAWSONVILLE CITY COUNCIL
EXECUTIVE SUMMARY FOR
AGENDA ITEM # 9

SUBJECT: **PLANNING COMMISSION POST #2 APPOINTMENT**

CITY COUNCIL MEETING DATE: 09/22/2025

BUDGET INFORMATION: GL ACCOUNT # _____

☐ Funds Available from: _____ Annual Budget _____ Capital Budget _____ Other

☐ Budget Amendment Request from Reserve: _____ Enterprise Fund _____ General Fund

PURPOSE FOR REQUEST:

**TO APPOINT JACK EATON TO PLANNING COMMISSION POST #2 TO FULFILL THE
UNEXPIRED TERM OF JOSH NICHOLS THROUGH 12/31/2027**

HISTORY/ FACTS / ISSUES:

**MR. EATON HAS BEEN VETTED AS PER THE CITY'S PROCESS AND WILL BE IN ATTENDANCE
AT THE MEETING FOR HIS APPOINTMENT**

OPTIONS:

RECOMMENDED SAMPLE MOTION:

APPROVE AS REQUESTED

REQUESTED BY: Jacob Evans, City Manager



DAWSONVILLE CITY COUNCIL EXECUTIVE SUMMARY FOR AGENDA ITEM # 10

SUBJECT: EMPLOYEE RECOGNITION

CITY COUNCIL MEETING DATE: 09/22/2025

BUDGET INFORMATION: GL ACCOUNT # _____

☐ Funds Available from: _____ Annual Budget _____ Capital Budget Other _____

☐ Budget Amendment Request from Reserve: _____ Enterprise Fund _____ General Fund

PURPOSE FOR REQUEST:

TO RECOGNIZE AND PRESENT EMPLOYEE RECOGNITION

HISTORY/ FACTS / ISSUES:

OPTIONS:

RECOMMENDED SAMPLE MOTION:

REQUESTED BY: Jacob Evans, City Manager



DAWSONVILLE CITY COUNCIL EXECUTIVE SUMMARY FOR AGENDA ITEM # 11

SUBJECT: **ZA-C2500171**

CITY COUNCIL MEETING DATE: 09/22/2025

BUDGET INFORMATION: GL ACCOUNT # _____

☐ Funds Available from: _____ Annual Budget _____ Capital Budget Other _____

☐ Budget Amendment Request from Reserve: _____ Enterprise Fund _____ General Fund

PURPOSE FOR REQUEST: **PUBLIC HEARING**

ZA-C2500171: PR Land Investments, LLC has petitioned for an amendment to the official zoning map applicable to the properties provided below. The applicant proposes the properties be rezoned from R-1 and R-3: Restricted Single-Family Residential District and Single-Family Residential District to RPC: Residential Planned Community, for the development of 120 single-family semi-detached homes. Tax Map Parcel 093 010 (592 HWY 9 S), Tax Map Parcel 093 011 (93 Southwest Border Ave), Tax Map Parcel D02 004, and Tax Map Parcel D04 010 (416 HWY 9 S). Public Hearings Dates: Planning Commission July 14, 2025, at 5:30 p.m. and Mayor and City Council August 4, 2025, at 5:00 p.m. *Planning Commission Tabled until August 11, 2025. City Council postponed the Public Hearing until September 22, 2025*

HISTORY/ FACTS / ISSUES:

- **+/- 34.71 acres**
- **120 dwelling units / 3.46 density per acre**
- **Gateway Corridors, Residential**
- **Vacant land**
- **Planning Commission Denied the Rezoning on August 11, 2025**
- **City Council Postponed the Public Hearing until Monday, September 22, 2025**

OPTIONS:

RECOMMENDED SAMPLE MOTION:

REQUESTED BY: CPL, Planning & Zoning Department



Memorandum

To be presented at the September 22, 2025, meeting of the Mayor and City Council

September 17, 2025:

RE: Zoning map amendment application ZA-C2500171. PR Land Investments, LLC, proposes to Amend the zoning map to rezone a 34.71 +/- acre assemblage from R-1: Restricted Single-Family Residential District and R-3: Single-Family Residential District to RPC: Residential Planned Community for the construction of a 120-unit residential subdivision.

To the Mayor and City Council of Dawsonville,

The Planning and Zoning Department has been made aware of the letter addressed to City officials on September 16, 2025, on behalf of PR Land Investments, LLC. Additionally, the Department is in receipt of an updated Letter of Intent (LOI) for the subject development proposal. This memorandum has been prepared to support staff analysis and summarize the updated LOI.

The letter provided by Taylor Duma, LLP, who provides legal counsel for the applicant, addresses the staff recommendation of the subject rezoning request. The Planning and Zoning Department staff maintain a recommendation of *denial* due to the following circumstances:

1. The proposed construction of detached, single-family residences at a density of 3.46 units per acre violates the provisions of Zoning Ordinance Sec. 1802.3. Residential density requirements cannot be relieved by a zoning variance.
2. The proposal does not substantially conform to the Comprehensive Plan's Residential Character Area due to incompatible residential density.

The applicant's letter provides an additional circumstance of denial; however, the staff report had been adjusted to only include the two reasons above after the August 11, 2025, Planning Commission meeting. As provided in the current staff report, staff classify the proposed housing product as *single-family*, which is defined as "a building designed or arranged to be occupied by one single housekeeping unit only as a residence" (Sec. 301). The applicant's team has self-identified the housing type as "semi-detached," an acceptable building type in the RPC: Residential Planned Community district.

Staff does not agree with this self-identification. "Semi-detached" is not a defined term in the Zoning Ordinance; pursuant to Sec. 301, which governs definitions, "terms not herein defined shall have their customary dictionary definitions where not inconsistent with the context." The Merriam-Webster dictionary defines "semidetached" as "forming one of a pair of residences joined into one building by a common sidewall." Similarly, the Collins Dictionary defines "semi-detached" as "a house that is joined to another house on one side by a shared wall."

The residences are not proposed to share any common sidewalks; therefore, they appear misaligned with the dictionary definitions. The letter also references statements made by the City Attorney, Kevin Tallant, at the August 11, 2025, Planning Commission meeting. Since the meeting, staff has communicated with Mr. Tallant and maintain an interpretation that the proposed housing type is not consistent with “semi-detached” residences.

In the RPC: Residential Planned Community district, “the overall net density shall be no more than one [1] unit per acre except for multi-family applications which shall be four [4] units per acre” (Sec. 1802.3). The proposed development would have a density of 3.46 dwelling units per acre, which does not conform to district requirements for detached, single family dwellings like those proposed. Pursuant to the definition of a variance (Sec. 301), a zoning variance from density requirements is not possible.

The City of Dawsonville adopted the current Comprehensive Plan in 2023, which serves as the basis for City land use policy and organizes Dawsonville into Character Areas. The subject assemblage is split between the Gateway Corridors and Residential Character Areas. The proposed development may generally align with the Gateway Corridors Character Area, but staff believes it does not meet the stated intent of the Residential Character Area. “Most development should entail large lots, with an average approaching or, preferably, surpassing five acres per unit [0.2 du/acre]” in the Residential Area (Comprehensive Plan pg. 45). Staff has not evaluated the policy for effectiveness when stating that it does not agree with the subject proposal; instead, it’s compared with the proposed gross residential density of 3.46 dwelling units per acre. The stated intent of this Area might conflict with other City goals and policies, which should be weighed at the discretion of the Mayor and City Council.

The original submittal, dated June 4, 2025, provided for a 14-acre, public “Maple Street Extension Park” to front Highway 9. The updated letter of intent has reduced the park size to 10 acres. This 29% reduction of the proposed park area is not explained in the letter, nor is it visualized, as no updated concept plan has been provided. A supportive statement for the parkland reduction, or an updated concept plan, may assist staff and City leadership in an informed assessment of changes to the proposal.

The *applicant* provided nine (9) proposed conditions of zoning approval as part of their original submittal. The updated letter of intent contains eighteen (18) conditions of approval, which also includes the removal of some originals. The table below compares *similar* conditions between the submittals:

Original Applicant Submittal (June 4, 2025)	Updated Applicant Submittal (September 16, 2025)
(1) As required by Zoning Ordinance § 1802(6), the Project shall be developed in general compliance with the Concept Plan, notwithstanding any provision to the contrary in the Zoning Ordinance or the Land Development Regulations of the City of Dawsonville, codified as Subpart B to The Code of Dawsonville, Georgia, and with reasonable modifications necessary to fully engineer and develop the Project on the Property.	(1) As required by Zoning Ordinance § 1802(6), the development contemplated by the Application (the “Development”) shall be developed in general compliance with the Concept Plan for “Gilleland-Jenkins Tract” dated 6/5/2025 prepared by Spicer Group and submitted with the Zoning Amendment Application (the “Concept Plan”), notwithstanding any provision to the contrary in the Zoning Ordinance or the Land Development Regulations of the City of Dawsonville, codified as Subpart B to The Code of Dawsonville, Georgia (collectively, the “Zoning Ordinance”), and with reasonable modifications necessary to fully engineer and construct the Development.
(2) The minimum heated square footage of dwellings within the development shall be	(5) The minimum heated square footage of dwellings in the Development shall be 1,734.

1,734.	
(3) The minimum width of dwellings within the development shall be 22 feet.	(6) The minimum width of dwellings within the Development shall be 22 feet. No more than 50% of the dwellings within the Development shall be less than 24 feet wide.
(4) The term "semi-detached" dwellings shall be deemed multi-family dwellings, and semi-detached dwellings shall be two or more dwellings that share one or more common footings or foundation wall(s).	(11) "Semi-detached" dwellings shall be two or more dwellings that share one or more common footings or foundation wall(s).
(5) The development shall include, as an active amenity, a walking trail, a playground area, and the public use area contemplated by the Concept Plan submitted with the Application.	(12) The Development shall include, as an active amenity, a walking trail, a playground area, and the Public Use Land (defined below) contemplated by the Concept Plan.
(7) The Applicant, its successors or assigns, contemporaneous with its submission of an application for land disturbance permit, shall commission civil engineering design for the traffic circle (i.e., roundabout) contemplated by The Comprehensive Downtown Strategic Plan of Dawsonville Town Center Master Plan. The City will utilize said plan, and bear the expense of revisions to said design for, the right of way acquisition for, and construction and maintenance of said traffic circle (i.e., roundabout).	(17) The Developer's civil construction plans for a land disturbance permit (the "LDP") for the Development shall include plans for the intersection of the Maple Street Extension with the current configuration of Highway 9, as contemplated by the Concept Plan. Additionally, at the time the Developer applies for the LDP, the Developer shall provide to the City a separate plan, prepared by the Developer's civil engineer, for a traffic circle (i.e., roundabout) (the "Roundabout") at the intersection of Highway 9 and the Maple Street Extension, as contemplated by The Comprehensive Downtown Strategic Plan of Dawsonville Town Center Master Plan. The Developer shall not be required to construct the Roundabout. The City (or the Georgia Department of Transportation) will utilize the plan submitted by the Developer for the Roundabout and bear the expense of revisions to said design for, the right of way acquisition for, and construction and maintenance of the Roundabout.
(9) Notwithstanding Section 109-53 of The Code of Dawsonville, Georgia, the Applicant shall install a 5' sidewalk on the south side of the Maple Street Extension only and shall grade the shoulder on the north side of the Maple Street Extension to provide for a potential 8' wide multi-use path to be constructed by the City in the future.	(15) The Applicant shall install a 5' sidewalk on the south/west side of the Maple Street Extension only, as shown and labeled on the Concept Plan as "5' SIDE WALK".

The following conditions of approval are *newly proposed* by the applicant:

(2) The maximum number of lots in the Development shall be 120.

(3) The minimum lot width in the Development shall be 34 feet as measured at the building line.

(4) The minimum side setback, as measured from the foundation, shall be 4 feet.

(7) The front setback of dwellings within the Development shall be 30 feet as measured from the garage door to the public or private right-of-way.

(8) Dwellings that front on Highway 9 and the Maple Street Extension (defined below) shall be situated such that the front façade of each dwelling faces the public right of way.

(9) Dwellings shall be sold as fee-simple dwellings.

(10) A maximum of 10% of dwellings in the Development shall be rented at any time, and such limitation shall be included in the covenants, conditions, and restrictions for the Development.

(13) The interior streets and alleys (i.e., the roads and alleys labeled on the Concept Plan as "PROPOSED SUBDIVISION STREET (PRIVATE)" AND "20' PROPOSED ALLEY (PRIVATE)") shall be private.

(14) At the Developer's expense, the Developer shall design and construct an extension of Maple Street through the subject property from Maple Street's current termination and connecting to Highway 9 (the "Maple Street Extension"), as generally shown and labeled on the Concept Plan as "MAPLE ST. PROPOSED EXTENSION (PUBLIC)", subject to modifications necessary to fully engineer and construct the Maple Street Extension. The Maple Street Extension shall be designed and constructed with sufficient shoulder to accommodate an 8-foot-wide multi-use path on the north/west side of the road. Such multi-use path may be constructed by the City in the future; accordingly, the Developer shall not be required to construct a sidewalk or multi-use path on the north/west side of the road.

(16) The Developer shall dedicate to City the areas labeled on the Concept Plan as "PUBLIC USE LAND", "NEIGHBORHOOD PARK", and "MAPLE ST. PROPOSED EXTENSION (PUBLIC)" (collectively, the "Public Use Land") for public use in general conformity with the Concept Plan. This Public Use Land will be dedicated pursuant to and at the time of recording of the final plat for the Development. The final configuration and dimensions of the Public Use Land will be as set forth on the final plat for the Development. The Public Use Land shall be included in calculating the required open space and density for the Development.

(18) Developer shall construct any turn lanes and/or decel lanes from Highway 9 onto Maple Street Extension as recommended by the traffic impact study.

The following conditions of approval were provided in the original submittal but are *no longer proposed*:

(6) The property contemplated by the Concept Plan for dedication for public purposes, including, but not limited to public park space, shall be included in calculating the required open space for the development.

(8) The Public Use Land, once conveyed to the City, shall be automatically zoned INST, Institutional District, without the necessity for any further action by the City Council.

In conclusion, the applicant has provided staff report feedback and an updated letter of intent with new

proposed conditions and the reallocation of nearly 4 acres away from public recreational use. Absent an updated concept plan, the site layout changes provided in the updated letter cannot be fully understood.

Best regards,

A handwritten signature in blue ink, appearing to read "Zachary Lloyd", is positioned above the printed name.

Zachary Lloyd

Planning & Zoning Department



CITY OF DAWSONVILLE

Planning Staff Report

Request to Amend the Zoning Map (Rezone)

APPLICANTPR Land Investments, LLC

CASE NUMBERZA-C2500171

REQUESTAmend the zoning map to rezone a 34.71 +/- acre assemblage from R-1: Restricted Single-Family Residential District and R-3: Single-Family Residential District to RPC: Residential Planned Community for the construction of a 120-unit residential subdivision.

CURRENT ZONING DESIGNATIONSR-1: Restricted Single Family Residential (parcels 093 010 and 093 011); R-3: Single Family Residential (parcels D02 004 and D04 010)

SITE AREA.....+/- 34.71 acres

LOCATION592 Hwy 9 S, 93 SW Border Ave, 416 Hwy 9 S

TAX MAP PARCELS.....093 010, 093, 011, D02 004, D04 010

FUTURE LAND USE DESIGNATIONS.....Gateway Corridors, Residential

PLANNING COMMISSION PUBLIC HEARING DATE...July 14, 2025 (request tabled to August 11, 2025)

PLANNING COMMISSION PUBLIC MEETING DATE...August 11, 2025

CITY COUNCIL PUBLIC HEARING DATE September 22, 2025

CITY COUNCIL DECISION MEETING DATE* October 20, 2025

INTRODUCTION

The applicant is petitioning to amend the zoning map to rezone four (4) parcels for the development of a 120-unit residential subdivision. Specifically, the applicant has requested the “Jenkins Tract” assemblage, split between the R-1: Restricted Single-Family Residential District and R-3: Single-Family Residential District, be rezoned to RPC: Residential Planned Community. This proposal also includes the construction of a public through road, which would begin at Maple Street S and terminate at Highway 9 S, in addition to a public park. If the development is approved and constructed as proposed, the gross residential density would be 3.46 dwelling units per acre.

*City Council meeting dates are subject to change

PROPOSAL

The subject assemblage is 34.71+/- acres in size, located in a primarily residential area. The site is developed with two single-family houses and one manufactured home, the oldest of which was constructed in 1938. The site directly abuts Atlanta Highway to the east, Maple Street to the southwest, and Southwest Border Ave to the west. If the subject proposal is developed, all existing buildings in the assemblage would be removed.

The development proposal consists of three main components; 120 residences, the extension of Maple Street to Highway 9, and a 14-acre "public park." The residences would be constructed on individual lots, allowing for fee-simple ownership. In addition to the "Maple Street Extension," the development is conceptualized with an additional street and alley, both privately owned. The "public park" area appears to be passive; it's unclear if any amenities or facilities would be constructed within it.

The application describes the residential component of the proposal as "single-family semi-detached homes." Dwellings which would front the proposed through road (the "Maple Street Extension") and Highway 9 would have garages at the rear, while the other residences would have front-loaded garages. The RPC: Residential Planned Community district encourages "flexible and creative concepts in site planning," allowing developers to propose some of their own standards. The table below provides additional specifications for the proposed residences:

Specification	Proposed Development	
	Minimum	Maximum
Heated Floor Area (HFA)	1,737 sq. ft.	2,281 sq. ft.
Lot Width	34 ft.	Unknown
Front Building Setback (includes corner lots)	30 ft.	Unknown
Side Building Setback	4 ft.	≥ 6 ft.
Rear Building Setback	20 ft.	Unknown
Building Separation	8 ft.	12 ft.
Driveway Width (garage to sidewalk)	30 ft.	Unknown
Note: Staff has not identified details in the submittal regarding lot area, lot depth, or building height.		

Sec. 1802.3 of the Zoning Ordinance governs residential density in the RPC: Residential Planned Community district and provides "the overall net density shall be no more than one [1] unit per acre except for multi-family applications which shall be four [4] units per acre." The proposed development will have a density of 3.46 dwelling units per acre, which does not conform to district requirements for single-family dwelling types. Pursuant to the definition of a variance (Sec. 301), a zoning variance from density requirements is not possible.

The applicant has indicated their product will be a single-family, semi-detached residence, but they utilize the multi-family density threshold, creating conflict in the project proposal. The term "semi-detached," as used in the Zoning Ordinance, is not defined in the Definitions article (Sec. 301). Terms not defined in the article "shall have their customary dictionary definitions" (Sec. 301) rather than be defined by an applicant, developer, or any similar entity. Merriam-Webster defines "semidetached" as "forming one of a pair of residences joined into one building by a common sidewall." This definition is comparable to that of a duplex.

The applicant proposes the residences "share an underground footing or foundation wall" and if requested, "an above ground element between connected, semi-detached dwellings, such as a connecting knee wall with a gate." None of the submitted renderings show the residences sharing a common sidewall, and the letter of

intent clarifies that the residences would not touch at or above ground level. Staff concludes that the proposed housing type is single-family detached and must adhere to the applicable requirements for single-family housing in the RPC: Residential Planned Community district, permitting a maximum density of one (1) dwelling unit per acre.

The submittal provides that each garage would be able to hold two vehicles, and each driveway would be able to hold two vehicles side-by-side. Dwellings would range from 22 to 26 feet in width and measure two stories in height. The application indicates that homebuyers may select the elevation and floor plan of their house from approximately 25 combinations. The distance between each garage and the back of the sidewalk would measure 33 feet; allowing for larger personal vehicles to be parked in driveways without sidewalk obstructions.

Residents of the development would be served by an active amenity area that appears separate from the proposed public park, pursuant to the concept plan. This active amenity area satisfies the requirement of Sec. 1802.3. The letter of intent does not detail the proposed amenities; however, a paved walking trail and children's play area are conceptualized. A mail kiosk and parking spaces to serve the area are also shown on the concept plan.

The applicant proposes the construction of a new, public through road to serve the development and local area, dubbed the "Maple Street Extension." This new route is conceptualized to begin at Maple Street, just south of its intersection with Flat Creek Dr, and terminate at Highway 9 S, forming a three-way intersection there. This proposal would necessitate the portion of Maple Street S that is south of its proposed beginning to be reconfigured. From Maple Street S, the route would take a winding, northeasterly route toward Highway 9 S, serving the proposed residences on the southeastern side, and stormwater facilities and public land to the northwest.

As part of the submittal, the applicant proposes a public recreation area called the "Maple Street Extension Park." The applicant has not provided the total area of the proposed recreation area, nor are any features or amenities of the space conceptualized or explained. It is unclear where visitors to this space would be able to park their vehicles, as no parking area is conceptualized besides the "private" spaces near the (private) resident amenity area.

On the concept plan, the development is depicted with sidewalks on both sides of the internal, private road, but the through road is shown with a sidewalk only on the side closest to the residences. Pursuant to Sec. 109-53(b) of Dawsonville Street Standards, "sidewalks shall be provided along both sides of all roads within residential developments and along the entire length of the property where a road entrance is constructed." Therefore, sidewalks must be constructed along both sides of the "Maple Street Extension" to meet the Standards. On August 4, 2025, the applicant provided the City with a traffic impact study for the proposed development. Additional traffic counts will reportedly be collected in the near future (as of the time of writing). The study recommends left-turn and right-turn lanes be provided on Hwy 9 S to serve the development entrance, via the proposed Maple Street Extension. Induced demand for the Maple Street Extension for travelers not residing within the development "is expected to be low" (pg. 1) during a typical weekday, the route could serve as an alternative when other roads are congested or closed for downtown events or emergency purposes.

Included in the applicant's submittal are nine (9) proposed zoning conditions to accompany the desired rezoning. Zoning Ordinance Sec. 916 allows for conditional approval through the implementation of zoning conditions. State legislation known as "Zoning Procedures Law" governs zoning decisions, local government zoning powers, and public notice requirements. As part of the formally submitted application, the following

zoning conditions are proposed by the applicant to the City:

1. As required by Zoning Ordinance § 1802(6), the Project shall be developed in general compliance with the Concept Plan, notwithstanding any provision to the contrary in the Zoning Ordinance or the Land Development Regulations of the City of Dawsonville, codified as Subpart B to The Code of Dawsonville, Georgia, and with reasonable modifications necessary to fully engineer and develop the Project on the Property.
2. The minimum heated square footage of dwellings within the development shall be 1,734.
3. The minimum width of dwellings within the development shall be 22 feet.
4. The term “semi-detached” dwellings shall be deemed multi-family dwellings, and semi-detached dwellings shall be two or more dwellings that share one or more common footings or foundation wall(s).
5. The development shall include, as an active amenity, a walking trail, a playground area, and the public use area contemplated by the Concept Plan submitted with the Application.
6. The property contemplated by the Concept Plan for dedication for public purposes, including, but not limited to public park space, shall be included in calculating the required open space for the development.
7. The Applicant, its successors or assigns, contemporaneous with its submission of an application for land disturbance permit, shall commission civil engineering design for the traffic circle (i.e., roundabout) contemplated by The Comprehensive Downtown Strategic Plan of Dawsonville Town Center Master Plan. The City will utilize said plan, and bear the expense of revisions to said design for, the right of way acquisition for, and construction and maintenance of said traffic circle (i.e., roundabout).
8. The Public Use Land, once conveyed to the City, shall be automatically zoned INST, Institutional District, without the necessity for any further action by the City Council.
9. Notwithstanding Section 109-53 of The Code of Dawsonville, Georgia, the Applicant shall install a 5’ sidewalk on the south side of the Maple Street Extension only and shall grade the shoulder on the north side of the Maple Street Extension to provide for a potential 8’ wide multi-use path to be constructed by the City in the future.

Note: To be adopted, zoning conditions must be set forth in the minutes of application approval (Sec. 916).

The applicant has not submitted any variance requests alongside this rezoning application.

At their public meeting on July 14, 2025, the Planning Commission tabled the subject rezoning request to their next regularly scheduled public meeting (August 11, 2025). During their August 11 public meeting, the Planning Commission recommended the subject rezoning request be denied.

SURROUNDING PROPERTIES

<i>Direction from the Site</i>	<i>Existing Zoning</i>	<i>Existing Land Use</i>	<i>Abutting Subdivisions/Developments</i>
North	R-1, R-3, R-6, HB, CIR	Single-family residential, multi-family residential, restaurant, small office, vacant land	Maple Street Town Homes (R-3)
South	R-1, R-3, INST	Single-family residential, vacant land	Burt's Crossing (R-3)
East	R-3, HB, CIR	Single-family residential, vacant land	Burt's Crossing (R-3)
West	R-1, R-3, INST, HB	Single-family residential, multi-family residential, restaurant, water treatment facility, vacant land	Maple Street Town Homes (R-3)

COMPREHENSIVE PLAN

Pursuant to the 2023 Dawsonville Comprehensive Plan, the subject assemblage is split between the Gateway Corridors and Residential Character Areas.

The Gateway Corridors Character Area "is the area immediately outside of Central Dawsonville that features a mix of uses, including modern subdivisions and shopping centers, and is most often characterized by the transition from downtown to more rural Dawson County. Its designation is both the result of this need to transition between extreme densities and the desire to strengthen the urbanized core of Central Dawsonville.

As development in this area will comprise mostly of residential uses and smaller-scale commercial activities, it has been designated Urban Neighborhood. As implied, the scale and form of new development should complement (not necessarily be equal to) that found in Central Dawsonville, particularly with regards to the density of land use, size of blocks and capacity for pedestrian accessibility. Streets should maintain connectivity, especially downtown, and properties should limit frontage parking areas. Residential uses may include subdivisions, but these should minimize cul-de-sacs, feature multiple access points, and emphasize connectivity with the city.

Heavier commercial and public activity centers may be reserved for key nodal locations, at the intersection of arterial roadways. This would maximize the infrastructure while preserving the traffic flow, minimizing the number of curb cuts along arterials or traffic flow on collector roads."

Permissible land use types in the Gateway Corridors are Commercial and Residential.

The Residential Character Area "represents the outlying residential portions of the city to the northwest, northeast and south. There are no immediate plans to alter their general form or land use, and long term plans suggest these areas will remain residential. Present levels of agricultural activity will continue as development pressures will allow, but neither the city nor the county will pursue capital improvements in this region to facilitate new development.

This area will be fostered as a haven for larger residential uses and rural/conservation subdivisions to facilitate a buffer between the higher densities of Dawsonville and the rest of Dawson County. Most development should entail large lots, with an average approaching or, preferably, surpassing five acres per unit [0.2 du/acre]. Nonresidential activity should be kept to a minimum and compliment the rural character of the area, such as churches, neighborhood scale markets and services with limited parking and traffic generation."

Permissible land use types in Residential Character Area are Residential, Agricultural, and Conservation.

The proposed development incorporates *residential*, *conservation*, and *recreational* land uses, which generally align with the intent of the Residential and Gateway Corridors Character Areas. However, the proposed gross density of 3.46 du/acre surpasses the intended 0.2 du/acre density of the Residential Character Area.

ANALYSIS

(1) Sec. 909 – Criteria to consider for map amendments (rezonings).

Any proposed amendment to the zoning map shall be submitted by application with a copy of the plat and payment of a fee set by the governing body for the application and review of the proposed amendment to the zoning map. Applicants shall submit six copies of any proposed zoning map amendment and plat to the planning director or designee for distribution to the applicable bodies and/or review agencies. The planning director or designee may require more or less copies depending on the nature and extent of required review. Applications which require action by the governing body shall require disclosure of any conflicts of interest as specified in the Georgia Zoning Procedures Act.

The applicant, staff, planning commission and governing body should review an application for zoning map amendment with regard to the following criteria:

(Language in bold is from the City of Dawsonville Zoning Ordinance. Bulleted information that is not bolded are factors known to staff that may apply to the Ordinance criteria.)

- 1. The existing uses and zoning of nearby property and whether the proposed zoning will adversely affect the existing use or usability of nearby property.**
 - Most of the properties near the subject assemblage are zoned residential (R-1: Restricted Single-family Residential, R-3: Single-family Residential, and R-6: Multiple-family Residential).
 - i. These properties are developed with detached or multi-family housing, if not vacant.
 - A few nearby properties are zoned for commercial (HB: Highway Business and CIR: Restricted Industrial Commercial) or institutional (INST: Institutional) land uses.
 - i. These properties are developed with restaurants, small offices, or detached dwellings, if not vacant.
 - Staff do not anticipate any adverse effects on the use or habitability of nearby properties resulting from the proposal.
- 2. The extent to which property values are diminished by the particular zoning restrictions.**
 - As currently zoned, the assemblage is developed with very low-density, single-family housing.
 - i. Most abutting residential properties are developed more densely, and most of those sites are zoned R-3: Single-family Residential rather than R-1: Restricted Single-family Residential.
 - Absent a formal market analysis, staff is unable to determine the impact of the existing zoning classifications on the sites' property values.
- 3. The extent to which the destruction of property values promotes the health, safety, morals or general welfare of the public.**

- Absent a formal market analysis, staff is unable to determine the impact of the development proposal on local property values.
4. **The relative gain to the public, as compared to the hardship imposed upon the individual property owner.**
 - As part of the proposed zoning map amendment, the applicant would construct a through road, known as the “Maple Street Extension”, to connect Maple Street S to Highway 9 S.
 - i. This roadway would be open for public use, owned and maintained by the City of Dawsonville as opposed to the rest of the proposed street network in the development.
 - The applicant has voluntarily presented the subject application to the City.
 5. **The physical suitability of the subject property for development as presently zoned and under the proposed zoning district.**
 - The assemblage is currently split between the R-1: Restricted Single-family Residential and R-3: Single-family Residential zoning classifications.
 - i. The site appears suitable for single-family residential development.
 - The applicant proposes to rezone the site to RPC: Residential Planned Community; the letter of intent reflects that “the Property is suitable for the Project proposed” and that “the Project will comply with the requirements of the RPC zoning district ... and all applicable City ordinances.”
 - i. Staff provides analysis of the proposal in relation to district requirements throughout this report finding that the proposal as presented will require revision if it is to be compliant with City ordinances.
 6. **The length of time the property has been vacant, considered in the context of land development in the area in the vicinity of the property, and whether there are existing or changed conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the rezoning request.**
 - The assemblage has a history of low-density single-family residence development.
 - i. Property tax records indicate the first residence was constructed in 1938.
 - Staff has not identified any existing or changing conditions that inherently support the approval or disapproval of the subject rezoning request.
 7. **The zoning history of the subject property.**
 - The current zoning configuration of the site has been maintained for many years.
 8. **The extent to which the proposed zoning will result in a use, which will or could cause excessive or burdensome use of existing streets, transportation facilities, utilities, schools, parks, or other public facilities.**
 - On August 4, 2025, a traffic impact study was provided as an update to the submittal.
 - i. The proposed “Maple Street Extension” would improve road connectivity in the area, if constructed and completed as proposed.
 - The proposal is not anticipated to burden location utilities, school, parks, or other public facilities.
 - i. The applicant proposes a public park as part of this request. However, it is unclear whether the park will contain any amenities or facilities beyond simple passive greenspace.

9. Whether the zoning proposal is in conformity with the policy and intent of the comprehensive plan, land use plan, or other adopted plans.

- The zoning proposal somewhat meets the intent of the 2023 Dawsonville Comprehensive Plan.
 - i. The calculated gross residential density of 3.46 du/acre exceeds the intended 0.2 du/acre intent of the Residential Character Area.

The staff, planning commission and governing body may consider other factors deemed relevant before formulating recommendations and taking action on a particular request.

(2) Sec. 1802.4 – An application for zoning and any development permits shall be preceded in each case by informal meeting with the mayor or other council member, the city manager and the planning director or designee as available prior to submission and shall be consistent with the format required for subdivision approval with the following additions:

(Language in bold is from the City of Dawsonville Zoning Ordinance. Bulleted information that is not bolded are factors known to staff that may apply to the Ordinance criteria.)

a. A proposed master plan showing at minimum:

- i. **Total property area included in the development with a legal description of the subject property and bounds;**
 - The surveys in Attachment “D” yield a total assemblage area of 34.71 acres.
 - i. Attachment “E” includes legal descriptions of the assemblage.
- ii. **Proposed buildings with approximate square footage and footprints;**
 - The applicant has proposed square footage ranges for the residences, but footprint areas are not approximated.
- iii. **Proposed street layout;**
 - The submitted concept plan depicts the proposed “Maple Street Extension” in addition to an internal road, parking and alley.
- iv. **Existing topographic conditions to include a contour interval of a minimum five feet based on field surveys or photogram metric photogrammetric methods;**
 - Contour information is included in the concept plan.
- v. **Amenity areas and buildings, including defined open space;**
 - The submittal does not define a specific acreage to be dedicated open space.
 - i. The total land areas to be designated for resident amenities and public use are undefined.
 - No amenities or buildings are proposed nor conceptualized for the proposed “public park” or “neighborhood park.”
- vi. **Traffic impact study.**
 - On August 4, 2025, the applicant provided a traffic impact study for the proposed development, which includes recommendations.

b. Water and sewage disposal and other utility plans.

- The submittal indicates that water and sewerage needs will be served by public utilities.
- Detailed plans for utilities are not provided.

c. A statement of intent containing disclosure of ownership, financial information, of the character of the proposed development, including a summary of gross density, types of dwelling units, stages of the development including completion of amenities, open space and landscaping.

- A satisfactory statement/letter of intent is provided in the submittal.

d. A master drainage plan shall be provided with the application for rezoning to identify the detention/retention and encourage creative water quality and quantity treatment processes.

- A proposed location for “stormwater management” is conceptualized.
- No master drainage plan has been provided in the submittal.

DOWNTOWN DEVELOPMENT AUTHORITY COMMENTS

The subject parcels are within the City of Dawsonville Downtown Development Authority District boundary. The parcels are outside of the historic district overlay, are not contiguous with the future town center property, yet fall in a nearby transitional zone primarily identified in the comprehensive strategic plan as desirable for residential infill development or redevelopment, particularly where the final product results in enhancement of blighted property and architectural character.

- The community desire for a multi-use greenway system connected to the downtown Dawsonville future town center was identified in the proposed master plan of the comprehensive strategic plan. This greenway was specifically identified traversing through the subject property, connecting with the future town center trailhead and utilizing unbuildable areas. Please consider a permanent transfer of property adequate to facilitate the future construction of this community feature.
- Inclusion of any of the following architectural styles are preferred by the community: Craftsman, Italianate, Folk Victorian, or Colonial Revival for placemaking purposes. Application of design guidelines and landscape patterns found in pages 75-91 of the Comprehensive Downtown Dawsonville Strategic Plan are encouraged.

STAFF RECOMMENDATION

Staff recommends **denial** of the request to amend the zoning map to rezone a 34.71 +/- acre assemblage from R-1: Restricted Single-Family Residential District and R-3: Single-Family Residential District to RPC: Residential Planned Community. The rationale for this recommendation of denial is provided below:

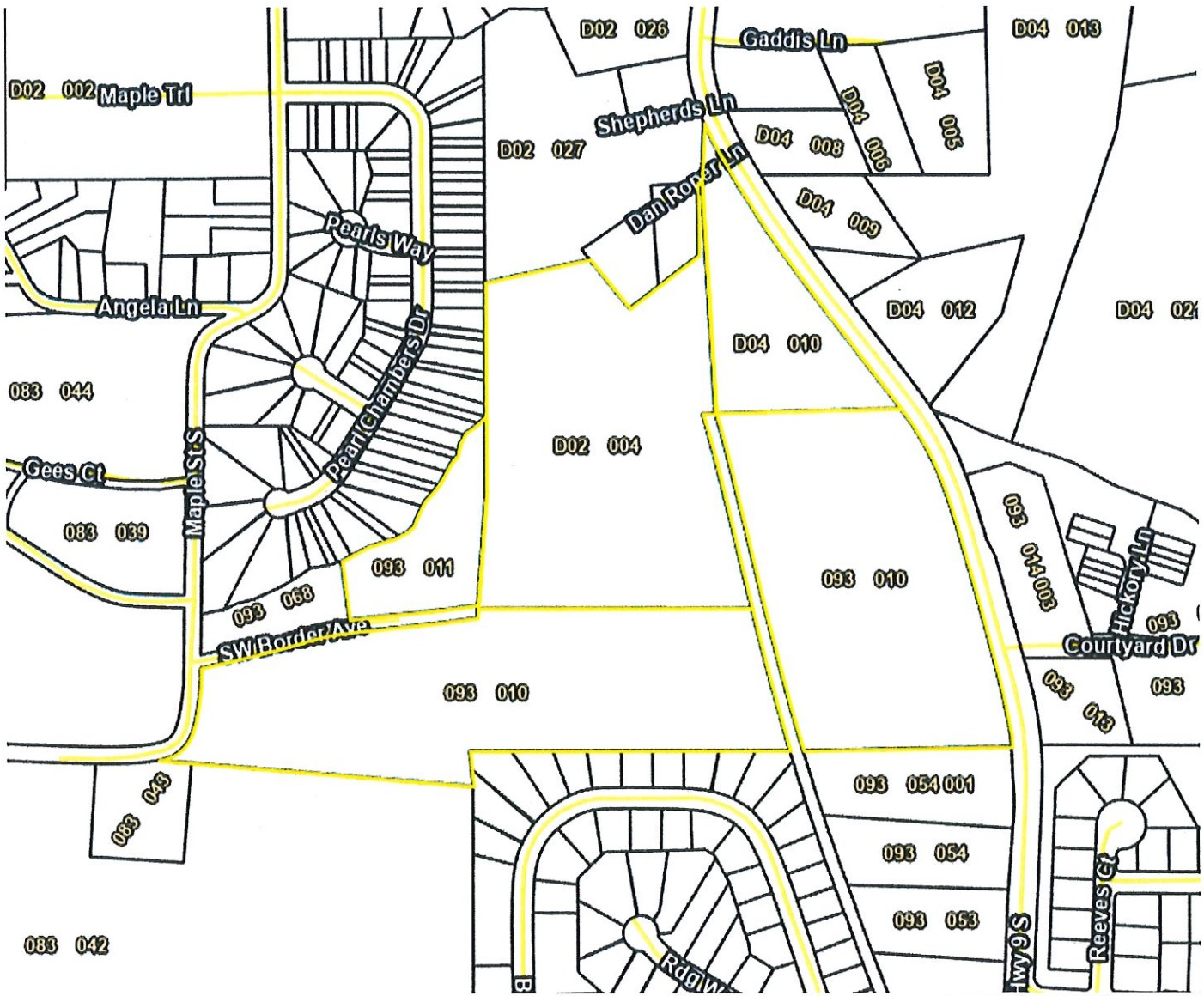
1. The proposed construction of detached, single-family residences at a density of 3.46 units per acre violates the provisions of Zoning Ordinance Sec. 1802.3. Residential density requirements cannot be relieved by a zoning variance.
2. The proposal does not substantially conform to the Comprehensive Plan’s Residential Character Area due to incompatible residential density.

PLANNING COMMISSION RECOMMENDATION

At their public meeting on August 11, 2025, the Dawsonville Planning Commission recommended **denial** of the request to amend the zoning map to rezone a 34.71 +/- acre assemblage from R-1: Restricted Single-Family Residential District and R-3: Single-Family Residential District to RPC: Residential Planned Community.

CONCEPT PLAN

AERIAL IMAGERY



Note: the boundaries of the subject assemblage (tax map parcels 093 010, 093, 011, D02 004, and D04 010) are approximated on the map above.



CREATE A MULTI-USE GREENWAY SYSTEM

A multi-use greenway system can be used for traveling between destinations and as a recreational attraction. The following recommendations aim to expand connectivity within downtown and surrounding areas for all users:

- Create a multi-use greenway trail system that could be used by bicyclists, pedestrians, and potentially golf carts

in certain areas that connect historic downtown, the 17-acre parcel, City Hall, and Main Street Park, as well as establishing a wider trail system along the creeks to increase recreational use.

- Explore tunnel and/or bridge options over/under Hwy 23 to provide safe crossings and wayfinding.

- Create two trailheads for the trail system within the 17-acre site development that bring awareness to the trail system and provide easy access.

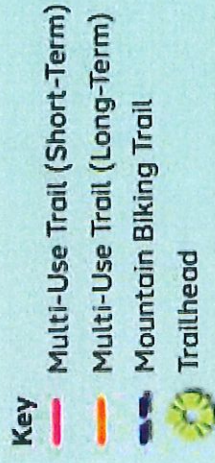
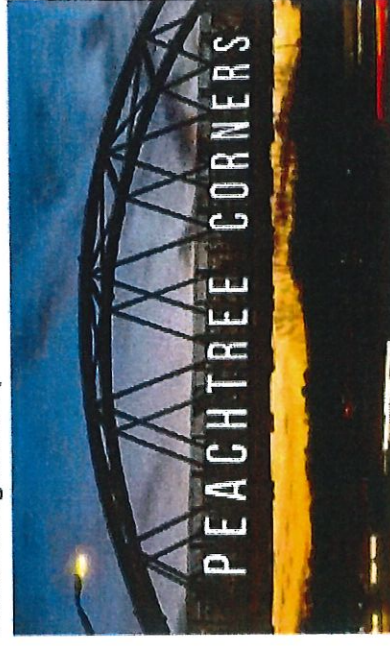


Figure 4.15: Example images



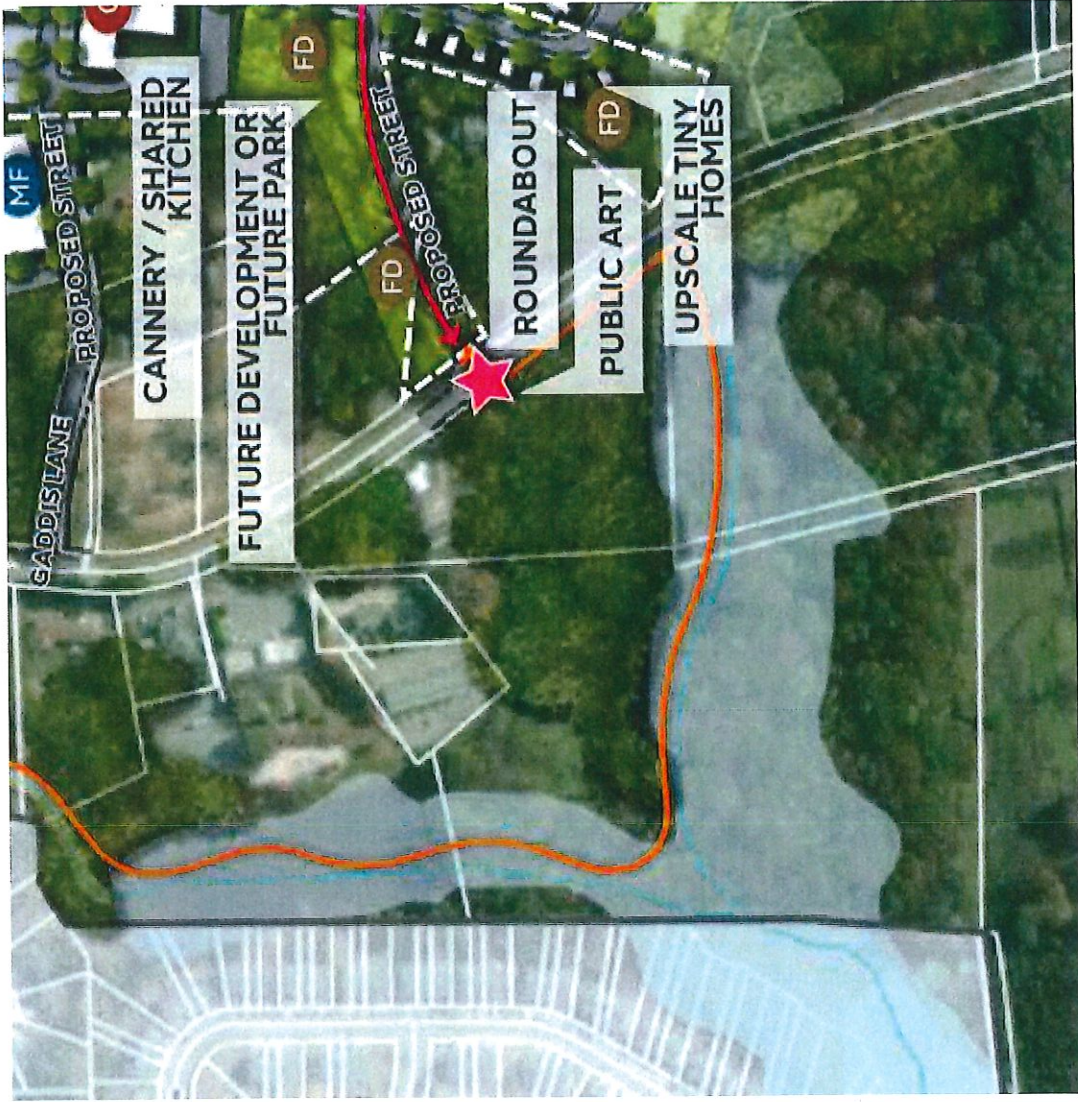
Multi-use greenway



Pedestrian bridge example

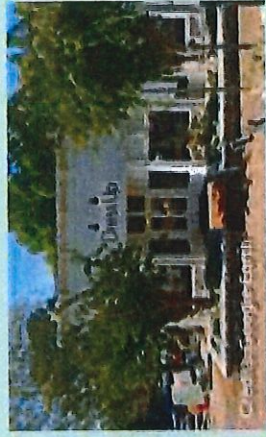
Map 4.16: Multi-Use Greenway System





ARCHITECTURE STYLES

CRAFTSMAN



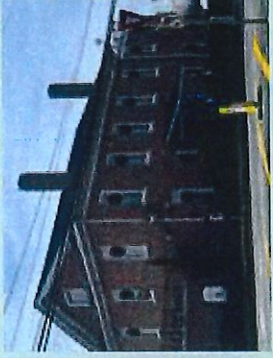
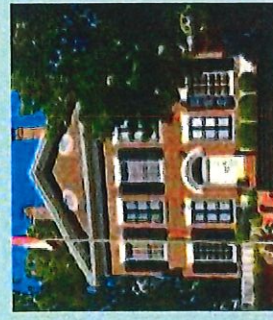
ITALIANATE



FOLK VICTORIAN



COLONIAL REVIVAL



Steven L. Jones | Partner
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E-mail: sjones@taylorduma.com

September 16, 2025

VIA EMAIL: jacob.evans@dawsonville-ga.gov

City of Dawsonville, Georgia
Planning and Zoning Department
c/o The Office of the City Manager
Attn: Mr. Jacob Evans, City Manager
415 Highway 53 East, Suite 100
Dawsonville, Georgia 30534

**Re: Dawson County Tax Assessor Parcel Identification Numbers set forth on Attachment "A"¹ hereto;
Rezoning Application regarding the Property – ZA-C2500171 (the "Rezoning Application" or the "Application");
Amended Letter of Intent for the Application.**

Dear City Council of the City of Dawsonville, Georgia:

On behalf of our client, PR Land Investments, LLC (the "**Applicant**"), please accept this letter as the amended letter of intent (this "**Letter of Intent**") or (this "**LOI**") and certain attachments pertaining to the Application and requesting to rezone 33.5 +/- acres (the "**Property**") fronting on Georgia State Route 9 ("**Highway 9**") and Maple Street. The Application seeks to rezone the Property from the R-1, Restricted Single Family Residential zoning district ("**R-1**") and R-3, Single-Family Residential District ("**R-3**") to the RPC Residential Planned Community zoning district ("**RPC**"), under the Zoning Ordinance of the City of Dawsonville (the "**Zoning Ordinance**"), codified as Appendix A to The Code of Dawsonville, Georgia. The majority of the Property is currently owned by two long-time families and stalwarts of the City of Dawsonville, Georgia (the "**City**") – the Jenkins' and the Gillelands.

The Application and the concept plan (the "**Concept Plan**" and together with the Application, the "**Master Plan**") submitted with the Application propose a development (the "**Project**" or the "**Development**"), which consists of the following:

- (A) 120 single-family semi-detached homes, which pursuant to the City's definition of "density"² yields 3.6 dwelling units per acre, which density is less than and consistent with the RPC's envisioned density of 4 multifamily units per acre, under Section 1802(3) of the Zoning Ordinance;

¹ All attachments to this letter are incorporated by reference as if fully set forth herein.

² Section 301 of the Zoning Ordinance (defined below) defines "density" as "[t]he number of dwelling units developed, or to be developed, per gross acre of land, or the gross square footage of a building per acre of land." Unlike other zoning districts, the RPC zoning district does not further specify how density is calculated.

- (B) The construction, at the Applicant's expense, and dedication of an extension of Maple Street (the "**Maple Street Extension**") through the Property and connecting Maple Street to Highway 9; and
- (C) A proposed public park ("**Maple Street Extension Park**") fronting on Highway 9 and Maple Street and other public land fronting on the Maple Street Extension. Together, the Maple Street Extension and the Maple Street Extension Park (collectively, the "**Public Use Land**") consist of approximately 10 acres. The Public Use Land is labeled on the Concept Plan as "Public Use Land" and "Neighborhood Park". Should the Mayor and City Council of the City desire to accept dedication of the Public Use Land, it will be dedicated pursuant to, and at the time of recording of, the final plat for the Development and the exact dimensions of the same will be as set forth on that final plat.

The proposed homes in the Development will be semi-detached, townhome-style, fee simple houses. Under the Zoning Ordinance semi-detached buildings are considered multifamily dwellings.³ Each semi-detached building will be comprised of two or three homes. The dwellings will be semi-detached because they will share an underground footing or foundation wall, to provide better aesthetics than a traditional, fully attached townhome. However, should it be the desire of the Council, the Applicant is willing to include an above ground element between connected, semi-detached dwellings, such as a connecting knee wall with a gate.

The homes that front on Highway 9 and the proposed Maple Street Extension, will be rear loaded with the front façade of the dwellings facing the public right of way to provide an attractive streetscape. There will be approximately 25 unique combinations of potential floor plans and elevations, which may be selected by homebuyers. The floor plans are 22 feet wide, 24 feet wide, or 26 feet wide with 1,737 to 2,281 of square feet of heated space. For this reason, the distance between buildings will range from 8 feet to 12 feet depending on the adjoining floor plans selected by adjacent homebuyers.

³ The term "semi-detached residences" is not defined in the Zoning Ordinance. Section 301 of the Zoning Ordinance provides that "[t]erms not . . . defined [in the Zoning Ordinance] shall have their customary dictionary definitions where not inconsistent with the context." Zoning Ordinance § 301. Section 301 of the Zoning Ordinance defines "dwelling, multifamily" as "[a] building designed for or occupied exclusively by two or more single housekeeping units with separate kitchen or housekeeping facilities for each family or housekeeping unit, including[, but not limited to,] apartments duplexes, row houses, condominiums, town houses, and similar housing types" Zoning Ordinance § 301. Section 1803(b) of the Zoning Ordinance states that permitted uses within the RPC zoning district include "[a]partments, duplexes, triplexes, quadplexes, semi-detached residences[,] and townhouses." Zoning Ordinance § 1803(b). A separate subsection—Section 1803(a)—states that a "[s]ingle family dwelling[] with on-site construction only" is permitted use in the RPC zoning district. Similarly, Section 1404 (related to development regulations in the R-6, Multiple Family Residential District) of the Zoning Ordinance states that "[a]ll apartment, duplex, triplex, quadplex, and semi-detached residences and townhouse developments shall conform to the . . . regulations set out in that section." *Thus, the Zoning Ordinance uses the term "semi-detached residences" in the context of multifamily residences/dwellings. Therefore, the context of the use of the term "semi-detached residences" in the Zoning Ordinance shows that such residences are intended to be multi-family dwellings.* To that end, at the Monday, August 11, 2025 Planning Commission of the City public hearing on the Application, *City Attorney Tallant confirmed that semi-detached dwellings are multi-family (and not single-family) dwellings under the Zoning Ordinance.*

There are no required setbacks in the PRC zoning district. However, the lots within the development will be a minimum of 34 feet wide at the building line to accommodate house widths of 22 feet to 26 feet wide. The resulting distance between buildings will be 8 feet to 12 feet, as measured from the foundation and the distance from the foundation to the property line will be no less than 4 feet. The front setback will be 30 feet measured from the garage door to the right-of-way. Based on a 30-foot-wide roadway (from back of curb to back of curb), a 2 foot wide landscape strip on each side of the roadway, and a 5 foot sidewalk on each side of the roadway, the distance from the garage door to the sidewalk will be 33 feet. The lots are designed to provide a 20-foot-deep rear yard.

Should the Council desire longer driveways, to ensure and promote off street parking, driveway lengths can be increased an additional 2 feet by decreasing the width of the street from 30 feet 26 feet from the back of curb to the back of curb (i.e., a 26-foot-wide street).

The Project fulfils the purpose of the RPC zoning district to “encourag[e] the development of large tracts of land as planned communities; encourage flexible and creative concepts in site planning; preserve the natural environment by encouraging scenic and functional open areas within residential areas; and provide for an efficient use of land resulting in increased efficiency in providing services” Zoning Ordinance § 1801. The semi-detached homes proposed by the Project also fulfil the intent of the RPC zoning district “which advocates [for] the grouping or clustering of lots and buildings on a smaller portion of the [Property] . . . , where the [Applicant] . . . can maintain the same residential density but offer smaller lots, with remaining land dedicated or reserved for open space, agriculture, woodlands[,] or recreation.” Zoning Ordinance § 1802. In other words, the RPC contemplates developments such as the Project.

As required by Section 1802(4)(c) of the Zoning Ordinance, the owners of the Property are set forth on Attachment “A” hereto. Additionally, the Applicant has developed numerous projects of comparable or larger size and has the financial wherewithal to complete the Project. The gross density and types of dwelling units are set forth above. The Project will be developed in one phase. And the open space and landscaping will be consistent with the Concept Plan and all applicable ordinances of the City. As further required by Section 1802(4)(c) of the Zoning Ordinance, the Concept Plan shows proposed stormwater management areas. The Project will utilize public water and sewer and all other available utilities, including, but not limited to, electric power and telecommunications. The requirements of Section 1802, and how the Application satisfies each, are summarized in the table below.

<u>Application Requirement under Zoning Ordinance § 1802(4)</u>	<u>Application Reference/Citation to Material Satisfying Application Requirement</u>
Informal pre-application meeting with the Mayor or other Councilmember, the City Manager, and the Planning Director, or designee, as available	Meetings held on in 2025 on May 28th, June 2nd, and June 4th that included the Applicant, the Mayor, other Council members, the City Manager, the Assistant City Manager, the Zoning Admin. Assistant and/or a representative of the City’s third-party planning and zoning consultant
Master plan showing: total property area	This LOI

	& Att. "F" to this LOI – The Concept Plan
Legal description	Att. "E" to this LOI – Legal Description of the Property
Master plan showing: proposed buildings with approximate square footages and footprints	Att. "F" to this LOI – The Concept Plan (see Typical Lot Detail) & Att. "G" to this LOI – Plan Book
Master plan showing: proposed street layout	Att. "F" to this LOI – The Concept Plan
Master plan showing: existing topographic conditions (min. 5 ft. contour lines)	Att. "F" to this LOI – The Concept Plan
Master plan showing: amenities areas and buildings, including defined open space	Att. "F" to this LOI – The Concept Plan
Traffic Impact Study	Att. "H" to this LOI – Traffic Impact Study
Water and sewage disposal and other utility plans	Att. "F" to this LOI – The Concept Plan & The paragraph above this table
A statement of intent containing disclosure of ownership, financial information, of the character of the proposed development, including a summary of gross density, types of dwelling units, stages of the development including completion of amenities, open space and landscaping.	This LOI Att. "F" to this LOI – The Concept Plan Att. "G" to this LOI – Plan Book
A master drainage plan	Att. "F" to this LOI – The Concept Plan

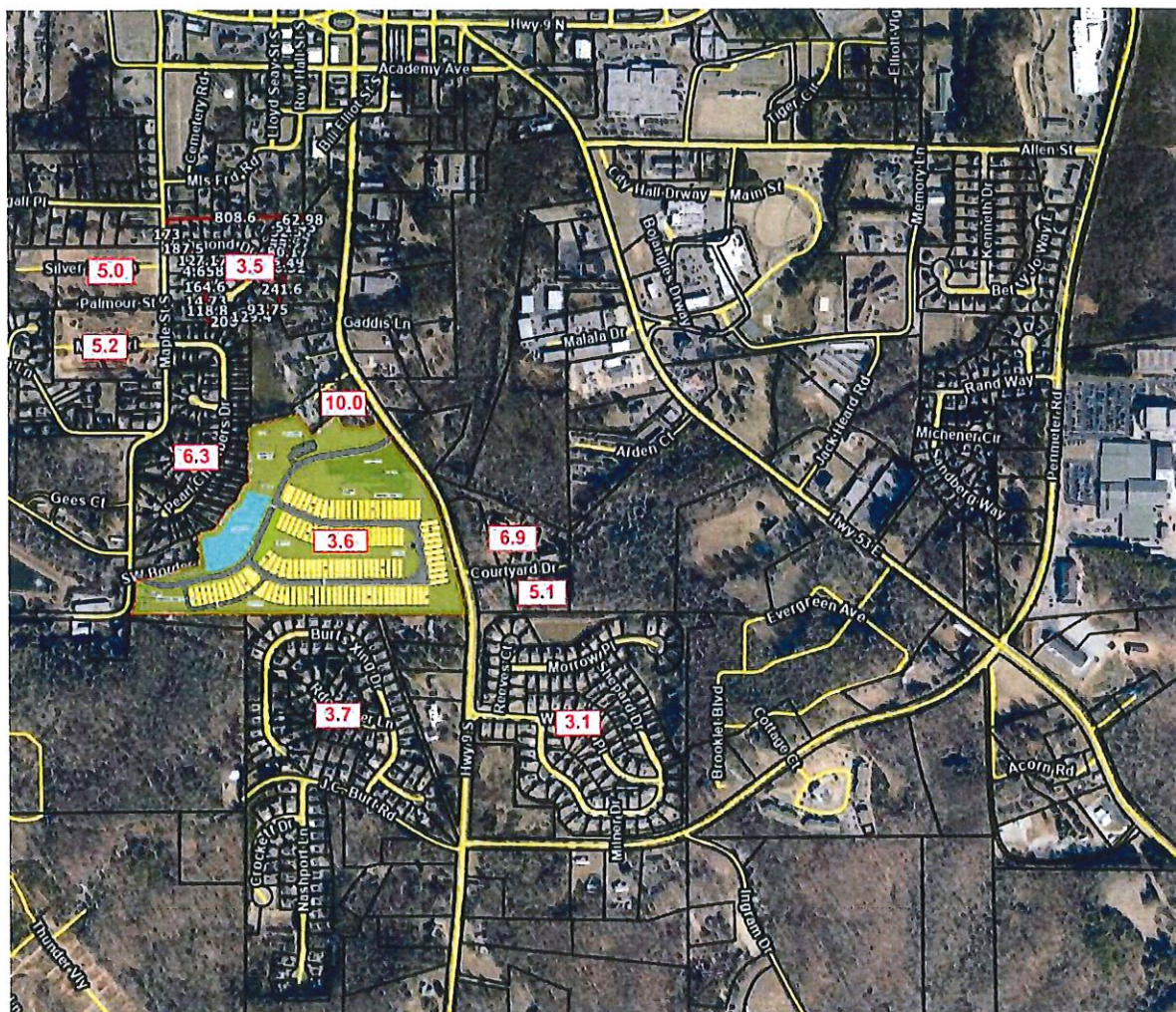
THE ZONING CRITERIA

Section 909 of the Zoning Ordinance sets out certain criteria (the "**Zoning Criteria**") by which the Application should be reviewed. Below, the Zoning Criteria are restated along with the Applicant's analysis of each Zoning Criteria as applied to the Project proposed by the Application.

1. The existing uses and zoning of nearby property and whether the proposed zoning will adversely affect the existing use or usability of nearby property.

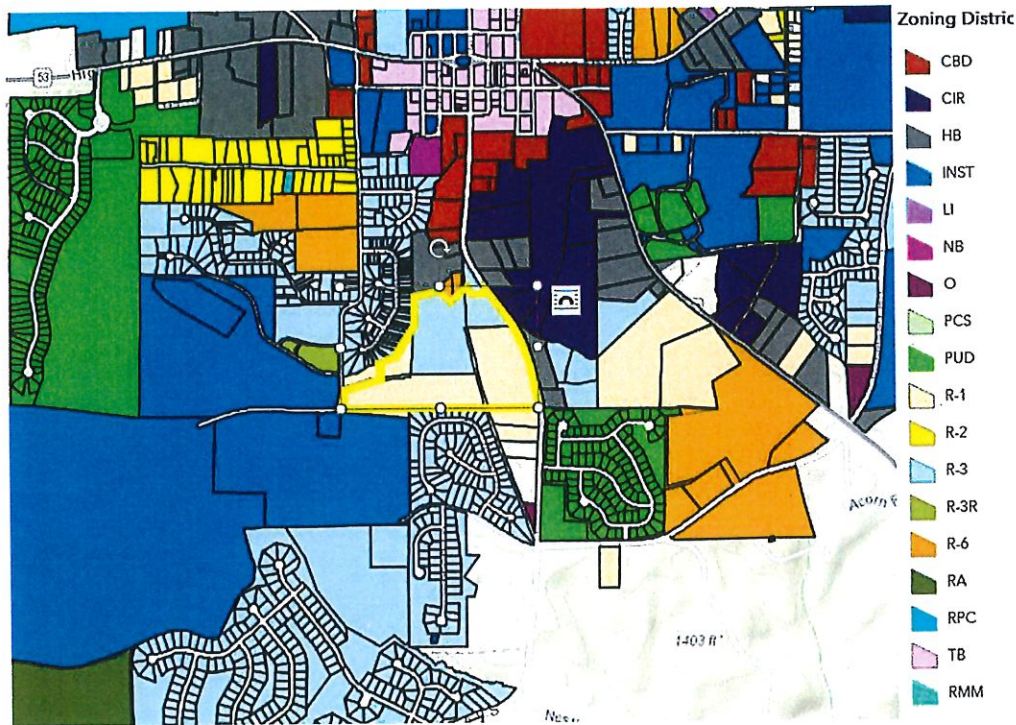
The Property is currently bounded by Highway 9, a single-family detached subdivision known as "Burt's Crossing" with a density of 3.5 dwelling units per acre, property of the Downtown Development Authority of the City of Dawsonville, Georgia, the City of Dawsonville Public Works Department, an attached townhome project with a density of 6.3 dwelling units per acre, another attached townhome project, with a density of 5.1 units per acre, an apartment development with a density of approximately 6.9 units per acre, a special events facility, and a duplex development with a density of approximately 10 units per acre.

The density analysis map below shows the density of residential developments in the area near the Property. The Project has a proposed density of 3.6 units per acre, which is less than all but 1 of the residential developments in the immediate vicinity of the Property.



*Density Map
Comparing proposed density of the Project and nearby developments*

As shown by the excerpt of the Zoning Map below, where the Property is outlined yellow, the zoning districts applied to nearby properties range from R-3, CIR, Restricted Industrial Commercial District (“CIR”), PUD, Planned Unit Development District (“PUD”), HB, Highway Business District (“HB”), Inst, Institutional District (“INST”), R-6, Multiple-Family Residential District (“R-6”), and R-3. In other words, the zoning and use of adjacent and nearby properties is varied from densities comparable to that proposed for the Project by the Application to densities multiple times greater than that proposed for the Project to mixed-use developments envisioned by the City (as further discussed below).



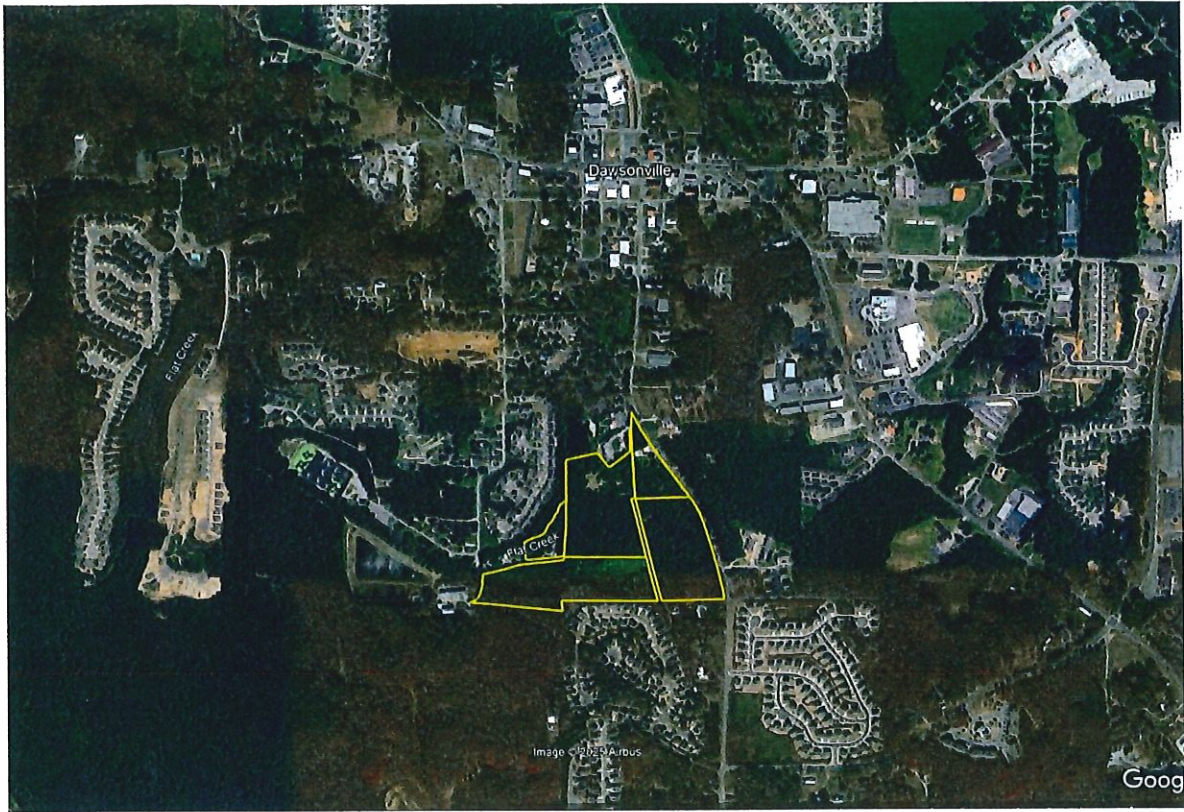
Excerpt of Zoning Map

Thus, the zoning and use of nearby properties is consistent with the Project proposed by the Application. As a result, this criteria weighs in favor of approval of the Application.

2. The extent to which property values are diminished by the particular zoning restrictions.

As shown in the pictures above and as further discussed in response to Zoning Criteria number 9, and as shown by the aerial/satellite map below (where the Property is outlined yellow), the majority of properties near the Property (a) have been developed as residential developments with densities greater than that proposed for the Project, (b) are part of the Downtown Plan (defined below), or (c) are institutional/governmental properties. Thus, the existing zoning applied to the Property, particularly the R-1 zoning, diminishes the value of the Property. Additionally, the Property's value as a whole is diminished by the inability to develop it in a comprehensive manner, consistent with nearby developments. If the Application is not approved, the Applicant and the owners of the Property will be denied the right to develop the Property consistent with existing and proposed development on nearby and adjacent properties. Thus, this criteria supports approval of the Application.

[AERIAL/SATELLITE MAP BEGINS ON NEXT PAGE]



Aerial Overview of Property

3. The extent to which the destruction of property values promotes the health, safety, morals or general welfare of the public.

The Downtown Plan (discussed further in response to Zoning Criteria number 9) proposed for adjacent property and the development of other nearby properties for high density, master planned developments shows that the development trend in the area is towards residential densities comparable to or greater than the residential density proposed by the Project. As a result, there is no destruction of property values as a result of the Project. This Zoning Criteria, therefore, supports approval of the Application.

4. The relative gain to the public, as compared to the hardship imposed upon the individual property owner.

The public would not gain if the Council did not approve the Application; instead, the public would be hindered in that it would be denied a quality development that proposes a residential use that would aid in the development of downtown Dawsonville by placing a semi-detached residential development within the area the subject of the Downtown Plan. More importantly, the public would be denied the components of the Public Use Land. Consequently, this criteria weighs in favor of approval of the Application.

5. The physical suitability of the subject property for development as presently zoned and under the proposed zoning district.

As shown by the Concept Plan, which has been designed by a Georgia professional civil engineer, the Property is suitable for the Project proposed by the Application. Additionally, the Project will comply with the requirements of the RPC zoning district, all zoning conditions imposed on the Property, and all applicable City ordinances. For these reasons, this criteria also supports approval of the Application.

6. The length of time the property has been vacant, considered in the context of land development in the area in the vicinity of the property, and whether there are existing or changed conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the rezoning request.

But for two residential structures, the Property has remained vacant, while the land in the vicinity of the Property has developed with for various uses, including, but not limited to, residential developments with densities comparable to or greater than the density proposed by the Project. Thus, this criteria supports approval of the Application.

7. The zoning history of the subject property.

As shown on Attachment "C" to this Letter of Intent, the Property has not been rezoned, except by adoption of new zoning maps for the City. Accordingly, this factor also weighs in favor of approval of the Application.

8. The extent to which the proposed zoning will result in a use, which will or could cause excessive or burdensome use of existing streets, transportation facilities, utilities, schools, parks, or other public facilities.

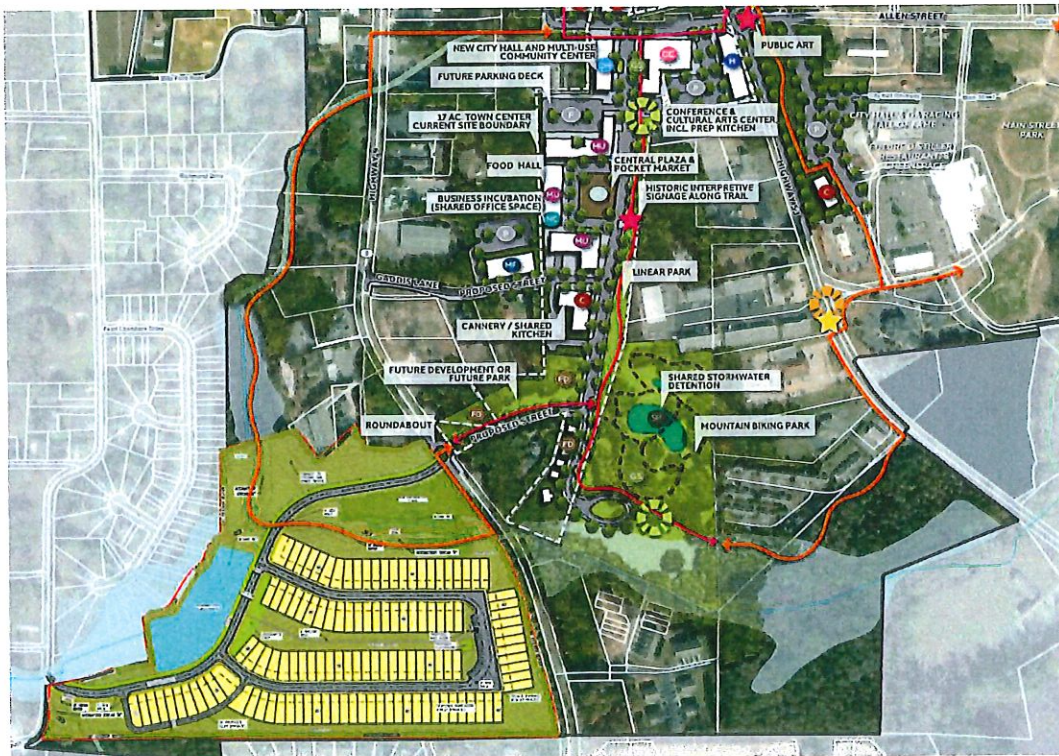
As noted below, the Comp. Plan and the Downtown Plan (both defined below in response to Zoning Criteria number 9) contemplate development and redevelopment of adjacent and nearby properties for a mixture of uses. Additionally, as noted above, nearby properties have been developed with residential densities comparable to or greater than the density of the Project proposed by the Application.

The Project proposes the Maple Street Extension, which will provide transportation connectivity between Maple Street and Highway 9. The Master Plan also proposes approximately 10 acres for public use which will relieve the burden and congestion on existing streets, including the traffic circle at the Old Courthouse. For that reason, the Project is unlikely to cause excessive or burdensome use of existing streets, transportation facilities, utilities, schools, parks, or other public facilities. Instead, the Project will contribute new streets, transportation facilities, and parks. Thus, this criteria also supports approval of the Application.

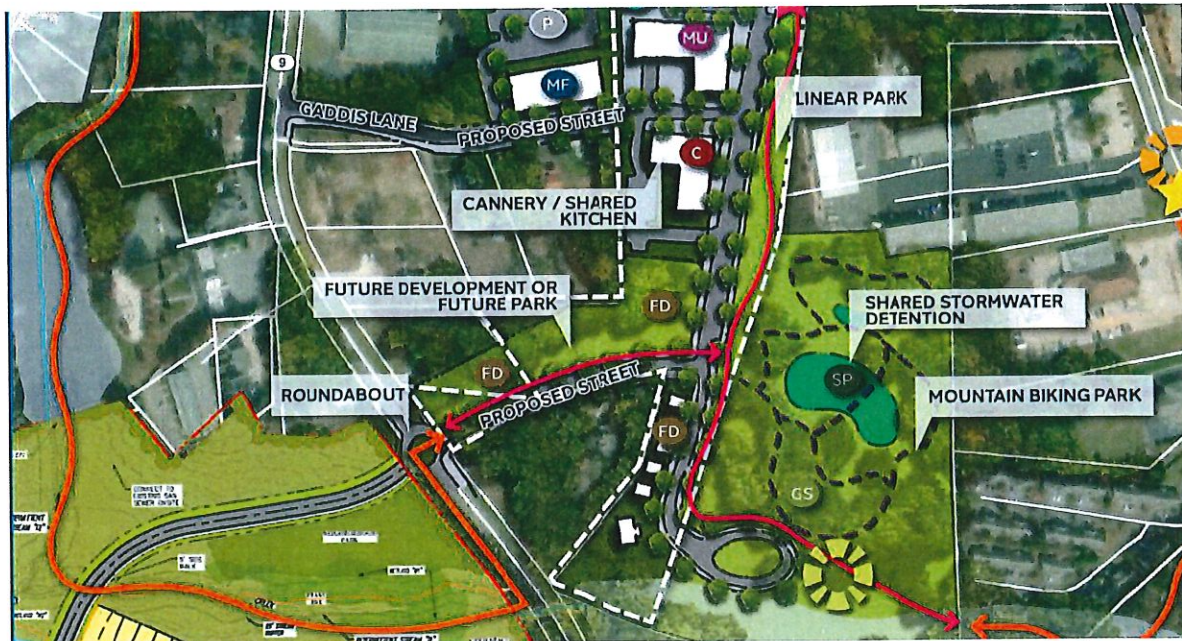
9. Whether the zoning proposal is in conformity with the policy and intent of the comprehensive plan, land use plan, or other adopted plans.

The Property is geographically situated such that, based on the proposed development plan, it uniquely facilitates numerous stated goals and objectives of the 2023 Comprehensive Plan (the “**Comp. Plan**”) and the Dawsonville Town Center Master Plan (the “**Downtown Plan**”). The Project includes the Maple Street Extension from the current dead end of Maple Street at the Public Works facility through the Property to Highway 9, directly across from the Dawsonville Town Center (the “**Town Center**”) contemplated in the Downtown Plan. (E.g., Downtown Plan, p. 7).

The Master Plan for the Project assumes approximately 10 acres will be donated to the City for the Maple Street Extension and public parks/greenspace across Highway 9 from the Town Center and other public uses. Additionally, the Master Plan also proposes for the Applicant to provide most, if not all, of the property (from the Property) necessary to construct the roundabout the Downtown Plan contemplates along Highway 9 between the Town Center and the Project/Property. The Public Use Land will provide a natural extension of the proposed Town Center including the area needed to construct a portion of the multi-use trail that is shown on the Property and the Town Center in the Downtown Plan. Alternatively, the City may prefer to designate for commercial use one or more parcels within the Public Use Land.



Concept Plan Overlaid on Downtown Plan



Concept Plan Overlaid on Downtown Plan & Showing the Roundabout and Maple Street Extension Park

The Comp Plan states that “**Community Goals are the most important part of the plan**” and then lists goals and objectives, including the following:

Continue efforts to improve the quality and variety of affordable housing
– As Dawsonville grows so has the demand for more types of housing, including increases demand for senior housing and multi-family units. The city is encouraged to find ways to encourage this variety while also ensuring a safe standard for all new housing units.

Comp. Plan, pp. 6, 12.

The Project will provide new, “for sale”, fee simple, semi-detached homes at a combination of price points and sizes that does not currently exist within the City limits or reasonably close to the City. When coupled with the other project by the Applicant that is currently being permitted at the other end of Maple Street which project has larger lots and larger homes, the Project provides for the quality, type, and variety of housing as desired by the Comp. Plan.

The Comp Plan also discusses “Community Needs and Opportunities” together with Mitigation Strategies for each listed item. Most relevant to this application is a sub-category labeled “Housing”, which lists the following items:

1. Aging housing stock/shortage of specific housing types

- Many local housing units may require structural maintenance or repair while many more may simply lack the amenities or features to remain economically viable in the face of a rapidly growing housing market.
- The recent growth Dawsonville is experiencing has produced an **imbalance in the measure of two housing types: quality entry level housing for the area's workforce, and special needs housing for the elderly and handicapped.** While these sectors are recognized as among the least viable for private developers, **failure to provide options within proximity of Dawsonville will only serve to increase the costs for those consumers and likely adversely impact the general economy and local quality of life.**

2. Maintain Housing Variety

- Natural demographic and economic **trends are increasing the volumes of smaller households** within all of Dawson County. As the community moves to support traditional family and large-household programs and development types, **Dawsonville must also ensure that a diversity of housing conditions and programs exist to support this variety of household types.**

Comp. Plan, p. 22 (emphasis added). The Project will clearly contribute to meeting the needs delineated in this section of the Comp Plan.

Among the other Needs and Opportunities are the following items along with certain Mitigation Strategies for each (emphasis added):

Need or Opportunity	Mitigation Strategy
• Managing Growth	• Focus on improved street connectivity and master planning that facilitates alleviating traffic congestion while allowing for future capacity building to promote economic vitality.
• Downtown economic development	• Consider utilizing Georgia Cities Foundation loans to revitalize and enhance downtown areas including such activities as real estate acquisition , building rehabilitation, new construction, the creation of green space and parks or other public spaces to support quality downtown revitalization
• Need for greenspace/ Improved management of greenspace	• Explore options for financing of greenspace acquisition

	<ul style="list-style-type: none">• Seek land acquisition through Department of Natural Resources grants to acquire and establish areas in or near downtown Dawsonville that promote either passive and/or active recreation. Achieving this will benefit both the environment through potential land conservation, local resident quality of life, encourage health and wellness, as well as support efforts to promote downtown Dawsonville to the sports and outdoor tourism market.
<ul style="list-style-type: none">• Balancing local traffic and commercial traffic	<ul style="list-style-type: none">• Focus on improved street connectivity and master planning.• Identify intersections where roundabouts can be utilized for safety improvements.

Comp. Plan, pp. 13, 15-16, 23, 29 (emphasis added).

The Project includes significant items consistent with the listed Mitigation Strategies. The Maple Street Extension through the Project to Highway 9 will directly connect the areas in the south and east areas of the City to the future planned Dawsonville Town Center and City Hall. The Applicant intends to donate approximately 10 acres of land for public use. If the Application is approved, the Applicant will construct and dedicate the Maple Street Extension at no cost to the City. And the Applicant will dedicate the Public Use Land to the City, at no cost to the City.

Additionally, the Applicant is offering to include the design of the future planned roundabout in the plans for the Project the Public Use Land includes a significant portion of the property required to construct that roundabout.

The Comp. Plan also includes a **Land Use Assessment**, which includes the following statement:

While economic growth is desired, the overall form and types of development are equally important for maintaining the city's character. Central Dawsonville should be the focus of increased commercial, cultural, and civic activity, taking on a more traditional urban form within a small-town context and scale. **New housing will be encouraged with an emphasis on a variety of housing types and price points.** New single-family detached housing closer to the urban core should exhibit traditional neighborhood forms yet also have sustainable structures and lots that readily retain market value.

(Comp. Plan, p. 35 (emphasis added)).

Again, the Project helps “check the box” on this item as well as the next item in the Comp Plan labeled **Areas Requiring Special Attention**, which specifically lists Maple Street and states that Maple Street “require[s] significant improvements to aesthetics or attractiveness”. (Comp. Plan, p. 37).

Next, the Comp Plan describes the various **Character Areas** and includes a map of those Character Areas. The Property lies within two Character Areas – Residential and Gateway Corridor. (Comp. Plan, p. 51). The Property is bounded by four different Character Areas: Commercial, Gateway Corridor, Public/Institutional and Residential. (*Id.*). As noted above, the adjoining residential properties are developed at similar or significantly higher densities that what is proposed within the Project.

The Gateway Corridor character area is defined as excerpted below:

2. Gateway Corridors

Description

This is the area immediately outside of Central Dawsonville that features a mix of uses, including modern subdivisions and shopping centers, and is most often **characterized by the transition from downtown to more rural Dawson County. Its designation is both the result of this need to transition between extreme densities and the desire to strengthen the urbanized core of Central Dawsonville.**

As development in this area will comprise **mostly of residential uses** and smaller-scale commercial activities, it has been designated Urban Neighborhood. As implied, the scale and form of new development should complement (not necessarily be equal to) that found in Central Dawsonville, particularly with regards to the density of land use, size of blocks and capacity for pedestrian accessibility. **Streets should maintain connectivity**, especially downtown, and properties should limit frontage parking areas. **Residential uses may include subdivisions, but these should minimize cul-de-sacs, feature multiple access points, and emphasize connectivity with the city.**

(Comp. Plan, p. 42 (emphasis added)).⁴

The Project fits the proposed uses in the Gateway Corridor character area. It facilitates the recommended goal of transitioning from higher density uses and includes the recommended development features of multiple entries, a loop street and alley (as opposed to cul-de-sacs), and street connectivity. Additionally, as a residential project, the Project is consistent with the Residential character area. Although the Residential character area generally calls for larger lots,

⁴ Note the term Urban Neighborhood is not defined in the Comp. Plan.

as noted above and as contemplated by the Gateway Corridor character area, the Property is uniquely situated for the type of development needed to fulfil the Comp. Plan's and (as discussed further below) the Downtown Plan's visions. (Comp. Plan, p. 45).

Two items contained in the Downtown Plan directly involve the Property and are incorporated into the Project and the Master Plan. First is the roundabout discussed above and the other is a multi-use trail which is shown entering the Property at the proposed roundabout, traversing the Property and eventually tying back into the Dawsonville Town Center at the proposed new City Hall.

Therefore, the Project proposed by the Application is in conformity with the policy and intent of the comprehensive plan, land use plan, and other adopted plans. And this criteria also weighs in favor of approval of the Application.

CONCLUSION

The unique location of the Property relative to the planned Town Center, together with the proposed Maple Street Extension and the donation of significant amounts of land for public use present an opportunity which may not exist anywhere else in the City of Dawsonville. The proposed density in the Project is significantly less than many existing, adjacent residential developments, but sufficient to allow for the proposed beneficial elements to the City while still being economically viable.

If approved, the Project will supply a much-needed housing option that provides the lifestyle, affordability, and quality that is needed throughout every community in the country, including Dawsonville. The Project will provide residents with pedestrian access to the Public Use Land and the Town Center.

To ensure that the development is of the high-quality that the Applicant expects and delivers for its developments, the Applicant proposes the following conditions of approval (the "**Proposed Conditions of Approval**") for the Council's consideration:

1. As required by Zoning Ordinance § 1802(6), the development contemplated by the Application (the "Development") shall be developed in general compliance with the Concept Plan for "Gilleland-Jenkins Tract" dated 6/5/2025 prepared by Spicer Group and submitted with the Zoning Amendment Application (the "Concept Plan"), notwithstanding any provision to the contrary in the Zoning Ordinance or the Land Development Regulations of the City of Dawsonville, codified as Subpart B to The Code of Dawsonville, Georgia (collectively, the "Zoning Ordinance"), and with reasonable modifications necessary to fully engineer and construct the Development.
2. The maximum number of lots in the Development shall be 120.

3. The minimum lot width in the Development shall be 34 feet as measured at the building line.
4. The minimum side setback, as measured from the foundation, shall be 4 feet.
5. The minimum heated square footage of dwellings in the Development shall be 1,734.
6. The minimum width of dwellings within the Development shall be 22 feet. No more than 50% of the dwellings within the Development shall be less than 24 feet wide.
7. The front setback of dwellings within the Development shall be 30 feet as measured from the garage door to the public or private right-of-way.
8. Dwellings that front on Highway 9 and the Maple Street Extension (defined below) shall be situated such that the front façade of each dwelling faces the public right of way.
9. Dwellings shall be sold as fee simple dwellings.
10. A maximum of 10% of dwellings in the Development shall be rented at any time, and such limitation shall be included in the covenants, conditions, and restrictions for the Development.
11. "Semi-detached" dwellings shall be two or more dwellings that share one or more common footings or foundation wall(s).
12. The Development shall include, as an active amenity, a walking trail, a playground area, and the Public Use Land (defined below) contemplated by the Concept Plan.
13. The interior streets and alleys (i.e., the roads and alleys labeled on the Concept Plan as "PROPOSED SUBDIVISION STREET (PRIVATE)" AND "20' PROPOSED ALLEY (PRIVATE)") shall be private.
14. At the Developer's expense, the Developer shall design and construct an extension of Maple Street through the subject property from Maple Street's current termination and connecting to Highway 9 (the "Maple Street Extension"), as generally shown and labeled on the Concept Plan as "MAPLE ST. PROPOSED EXTENSION (PUBLIC)", subject to modifications necessary to fully engineer and construct the Maple Street Extension. The Maple Street Extension shall be designed and constructed with sufficient shoulder to accommodate an 8-foot-wide multi-use path on the north/west side of the road. Such multi-use path may be constructed by the City in the future; accordingly, the Developer shall not be

required to construct a sidewalk or multi-use path on the north/west side of the road.

15. The Applicant shall install a 5' sidewalk on the south/west side of the Maple Street Extension only, as shown and labeled on the Concept Plan as "5' SIDE WALK".
16. The Developer shall dedicate to City the areas labeled on the Concept Plan as "PUBLIC USE LAND", "NEIGHBORHOOD PARK", and "MAPLE ST. PROPOSED EXTENSION (PUBLIC)" (collectively, the "Public Use Land") for public use in general conformity with the Concept Plan. This Public Use Land will be dedicated pursuant to and at the time of recording of the final plat for the Development. The final configuration and dimensions of the Public Use Land will be as set forth on the final plat for the Development. The Public Use Land shall be included in calculating the required open space and density for the Development.
17. The Developer's civil construction plans for a land disturbance permit (the "LDP") for the Development shall include plans for the intersection of the Maple Street Extension with the current configuration of Highway 9, as contemplated by the Concept Plan. Additionally, at the time the Developer applies for the LDP, the Developer shall provide to the City a separate plan, prepared by the Developer's civil engineer, for a traffic circle (i.e., roundabout) (the "Roundabout") at the intersection of Highway 9 and the Maple Street Extension, as contemplated by The Comprehensive Downtown Strategic Plan of Dawsonville Town Center Master Plan. The Developer shall not be required to construct the Roundabout. The City (or the Georgia Department of Transportation) will utilize the plan submitted by the Developer for the Roundabout and bear the expense of revisions to said design for, the right of way acquisition for, and construction and maintenance of the Roundabout.
18. Developer shall construct any turn lanes and/or decel lanes from Highway 9 onto Maple Street Extension as recommended by the traffic impact study.

Thank you for the opportunity to present this project on behalf of the Applicant and for the City Council's consideration of the Application. Should you have any questions or concerns, please do not hesitate contact me.

Sincerely,

TAYLOR DUMA LLP
Counsel for the Applicant



Steven L. Jones

Dawsonville, Georgia
September 16, 2025
Page 17 of 17

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Suite 200
Atlanta, Georgia 30339
(678) 336-7282
sjones@taylorenghish.com

cc: Kevin Tallant, Esq (City Attorney, via email)
Applicant (via email)

Enclosures

ATTACHMENT "A"

[CHART OF TPNS, OWNERS, AND ACREAGE OF THE PROPERTY]

Tax Parcel Number	Owner	Address	Acreage
093 010	Jimmy Jenkins & Judy Jenkins	592 Highway 9 South	17.49 +/-
093 011	Danny Gordon Weaver & Morgan J. Weaver	93 Southwest Border Ave.	1.96 +/-
D02 004	Pamela Joy Oliver Gilleland as Executrix of the Estate of Raymond Roger Gilleland & Dwight Delano Gilleland	0 Dan Roper Lane & 0 Southwest Border Ave.	10.1 +/-
D04 010	Pamela Joy Oliver Gilleland as Executrix of the Estate of Raymond Roger Gilleland & Margaret Callicott Gilleland	416 Highway 9 South	3 +/-

ATTACHMENT "J"
CONSTITUTIONAL OBJECTION

As applied to the real property of the owners identified in the foregoing Attachment "A"¹ (collectively, the "Owners") which are identified as the Dawson County Tax Assessor Parcel Numbers ("TPN") identified in the foregoing Attachment "A" (collectively, the "Property") and is the subject of the previously-filed Application (as that term is defined in the foregoing letter) of PR Land Investments, LLC (the "Applicant"), if the Application, in whole or in part, is not approved or is approved with conditions not consented to by the Applicant, the Zoning Ordinance of the City of Dawsonville (the "Zoning Ordinance"), codified as Appendix A to The Code of Dawsonville, Georgia, will be unconstitutional in that the Applicant's (and the Owners') property rights in and to the Property will be destroyed without first receiving fair, adequate, and just compensation for such property rights. As applied to the Property and the Applicant, in such case, such action on the Application and the Zoning Ordinance, as applied to the Property and the Applicant and facially, will deprive the Applicant (and the Owners) of constitutionally protected rights in violation of the Just Compensation Clause of the Fifth Amendment to the Constitution of the United States of America; Article I, Section I, Paragraphs I-II of the Constitution of the State of Georgia of 1983; Article I, Section III, Paragraph I of the Constitution of the State of Georgia of 1983; and the Due Process and Equal Protection Clauses of the Fourteenth Amendment to the Constitution of the United States of America.

If the Application, in whole or in part, is not approved or is approved with conditions not consented to by the Applicant, such action on the Application and the Zoning Ordinance, as applied to the Property and the Applicant and facially, will be unconstitutional, illegal, arbitrary, capricious, null, and void, constitute a taking of the Property in violation of the Just Compensation Clause of the Fifth Amendment to the Constitution of the United States of America; Article I, Section I, Paragraphs I-II of the Constitution of the State of Georgia of 1983; Article I, Section III, Paragraph I of the Constitution of the State of Georgia of 1983; and the Equal Protection and Due Process Clauses of the Fourteenth Amendment to the Constitution of the United States of America thereby denying the Applicant (and the Owners) an economically viable use of the Property while not substantially advancing legitimate state interests.

Inasmuch as it is impossible for the Applicant (and the Owners) to use the Property and simultaneously comply with the Zoning Ordinance, and if the Application, in whole or in part, is not approved or is approved with conditions not consented to by the Applicant, such action on the Application and Zoning Ordinance, as applied to the Property and the Applicant and facially, will constitute arbitrary, capricious, and unreasonable acts by the City of Dawsonville, Georgia (the "City"), by and through the City Council of the City (the "Council"), without any rational basis therefor and constitute abuses of discretion in violation of the Just Compensation Clause of the Fifth Amendment to the Constitution of the United States of America; Article I, Section I, Paragraphs I-II of the Constitution of the State of Georgia of 1983; Article I, Section III, Paragraph I of the Constitution of the State of Georgia of 1983; and the Due Process and Equal Protection

¹ The foregoing letter is incorporated herein by reference as if fully set forth herein. All capitalized terms used herein shall have the meaning assigned to them in said letter, unless otherwise defined herein.

Clauses of the Fourteenth Amendment to the Constitution of the United States of America.

If the Application, in whole or in part, is not approved or is approved with conditions not consented to by the Applicant, such action on the Application and the Zoning Ordinance, as applied to the Property and the Applicant and facially, will be unconstitutional and discriminate against the Applicant (and the Owners) in an arbitrary, capricious, and unreasonable manner between the Applicant and others similarly situated in violation of Article I, Section I, Paragraph II of the Constitution of the State of Georgia of 1983 and the Equal Protection Clause of the Fourteenth Amendment to the Constitution of the United States of America.

Additionally, application of any amendments to the Zoning Ordinance adopted or enacted after the date the Application was filed with the City, to the Application, the Property, and/or the Applicant will constitute an unconstitutional ex post fact law, in violation of Article I, Section 10 of the Constitution of the United States of America and Article I, Section I, Paragraph X of the Constitution of the State of Georgia of 1983.

As applied to the Property and facially, the Zoning Ordinance is a significant detriment on the Owners and is insubstantially related to the public health, safety, morality, and general welfare.

WHEREFORE, the Applicant requests that the Council approve the Application, with no condition(s) or only conditions consented to by the Applicant, and take all other action(s) necessary to permit the Applicant to utilize the Property as set forth in the Application and the foregoing letter.

Respectfully submitted this 16th day of September 2025.

TAYLOR DUMA LLP

Counsel for Applicant

A handwritten signature in black ink, appearing to read 'Steven L. Jones', with a stylized, flowing script.

Steven L. Jones

Georgia State Bar No.: 639038

1600 Parkwood Circle
Suite 200
Atlanta, Georgia 30339
(678) 336-7282
sjones@taylorduma.com

ATTACHMENT "K"

OBJECTION TO AND FOR HEARINGS BASED ON YORK V. ATHENS COLLEGE OF MINISTRY, INC.

As applied to the real property of the owners identified in the foregoing Attachment "A"¹ (collectively, the "Owners") which are identified as the Dawson County Tax Assessor Parcel Numbers ("TPN") identified in the foregoing Attachment "A" (collectively, the "Property") and is the subject of the previously Application (as that term is defined in the foregoing letter) of PR Land Investments, LLC (the "Applicant"), as more particularly requested in the foregoing letter, and as applied to the Applicant, the public and/or other hearing(s) regarding, and any action of the City of Dawsonville, Georgia (the "City"), by and through the City Council of the City (the "Council") on, the Application are objected to by the Applicant based on, but not limited to, the reasons set forth herein (collectively, the "York Objection" and each an "Objection"), in accordance with *York v. Athens College of Ministry, Inc.*, 348 Ga. App. 58 (Ga. Ct. App. 2018):

Contemporaneous with the filing of this *York* Objection, the Applicant is filing a Constitutional Objection, and all Objections set forth therein are incorporated herein by reference as if fully restated.

The Applicant objects to any and every hearing before the Council and/or the City on the Application because the time limitation, if any, imposed on the presentation of evidence and/or testimony in support of (or in rebuttal to any evidence and/or testimony in opposition to) the Application, or any limitation of the Applicant's ability and right to present evidence and/or testimony at such hearing(s), deprives and will deprive the Applicant a meaningful opportunity to be heard and preserve issues, in violation of the Due Process Clause of the Fourteenth Amendment to the Constitution of the United States and Article I, Section I, Paragraphs I, II, XI, and XII of the Constitution of Georgia of 1983. Likewise, the Applicant objects to any and all members of the public (and/or other persons) who appear (or otherwise give testimony or opinion) at the hearing(s) on the Application, if any, to the extent that (but not limited to) said individuals (a) do not satisfy the substantial interest-aggrieved citizen test and/or are not citizens of the City; (b) are not under oath; (c) are not subject to cross-examination; (d) present evidence on and/or make statements that qualify as (or must or should be assessed with the aid of) expert opinion without any or all individuals being qualified as expert witnesses; (e) present evidence on and/or make statements that are not germane to the purview of the Council, as applicable, with respect to the Application; and/or (f) present evidence and/or make statements that are founded, wholly or in part, upon inadmissible, unreliable, nonprobative, insubstantial, and/or lay, nonexpert opinion evidence.

Additionally, the Applicant objects to any and every Council action that does not approve the Applicant and/or does not approve the Application or approves the Application with conditions not consented to by the Applicant, to the extent that (but not limited to) such action is: (a) in violation of Section 50-13-19(h) of the Official Code of Georgia Annotated or otherwise: (1) in violation of any constitutional, statutory, and/or ordinance provisions; (2) in excess of the

¹ The foregoing letter is incorporated herein by reference as if fully set forth herein. All capitalized terms used herein shall have the meaning assigned to them in said letter, unless otherwise defined herein.

constitutional, statutory, and/or ordinance authority of the Council (if any); (3) made upon unlawful procedure; (4) affected by other error of law; (5) clearly erroneous in view of the reliable, probative, and substantial evidence on the whole record; and/or (6) arbitrary or capricious or characterized by abuse of discretion or clearly unwarranted exercise of discretion; (b) founded, wholly or in part, upon inadmissible, unreliable, nonprobative, insubstantial, and/or lay, nonexpert opinion evidence; (c) contrary to or outside of the purview (if any) of the Council; (d) based, in whole or part, on evidence or other information received outside of the hearing(s) on the Application, and/or in any manner which does not afford the Applicant an opportunity to review or respond to the same; and/or (e) not made pursuant and in conformance with the Zoning Ordinance; the Georgia Zoning Procedures Law, O.C.G.A. § 36-66-1, *et seq.*, and/or any other law of the state of Georgia or the United States of America; and/or (f) pursuant to an ordinance, resolution, zoning map, and/or the like not adopted in compliance with the Code of Ordinances; the Zoning Ordinance; the Georgia Zoning Procedures Law, O.C.G.A. § 36-66-1, *et seq.*; and/or any other law, including the Constitutions of the State of Georgia or the United States of America, which the Owners contend is the case for the applicable ordinances, resolutions, and maps, including, but not limited to, the Zoning Ordinance; and/or (g) not sustained by sufficient evidence.

By and through this *York* Objection, the Applicant hereby preserves all the above and incorporated Objections, and any and all evidence, arguments, and objections made and/or tendered by the Applicant at or prior to the Council hearing(s) on the Application, and asserts them on and within the record before, and for consideration and resolution (prior to any formal decision on the Application) by, the Council, as applicable.

WHEREFORE, the Applicant requests that the Council approve the Application, with no condition(s) or only conditions consented to by the Applicant, and take all other action(s) necessary to permit the Applicant to utilize the Property as set forth in the Application and the foregoing letter.

Respectfully submitted this 16th day of September 2025.

TAYLOR DUMA LLP
Counsel for Applicant



Steven L. Jones
Georgia State Bar No.: 639038

1600 Parkwood Circle
Suite 200
Atlanta, Georgia 30339
(678) 336-7282
sjones@taylorduma.com



City of Dawsonville

415 Highway 53 East, Suite 100
Dawsonville, GA 30534
(706) 265-3256

Zoning Amendment Application

Application#: C2500171

Applicant Name(s): PR Land Investments, LLC c/o Steven L. Jones, Taylor Duma LLP

Address: 1600 Parkwood Circle, Suite 200 City: Atlanta, Georgia Zip: 30339

Cell Phone: [REDACTED] Email: sjones@taylorduma.com

Signature(s) /s/ Steven L. Jones Date 6/4/2025

Property Address: 592 Highway 9 South, 416 Highway 9 South, 93 Southwest Border Ave.,
0 Dan Roper Lane, & 0 Southwest Border Ave.

Directions to Property from City Hall: From Allen Street, turn right/north onto Highway 53. At the round-about, take the
5th exit onto Highway 9 South. Proceed on Highway 9 for approx. 4/10ths of a mile where the Property will be on the right/west.

Tax Map Parcel #: 093 010, 093 011, D02 004, & D04 010 Current Zoning: R-1 & R-3

Land Lot(s): 507 & 508 District: 4th Section: 1st

Subdivision Name: N/A Lot# N/A

Acres: Current use of property: Vacant or Residential

Has a past request of Rezone of this property been made before? If yes, provide ZA#

The applicant request:

Rezoning to Zoning category: RPC Conditional Use permit for: N/A

Proposed use of property if rezoned:

Residential # of lots proposed: Minimum lot size proposed (Include Conceptual Plan)

Amenity area proposed Yes, if yes, what Neighborhood Park

If Commercial: total building area proposed: N/A (Include Conceptual Plan)

Utilities: (utilities readily available at the road frontage): Yes Water Yes Sewer Yes Electric Yes Natural Gas

Proposed Utilities: (utilities developer intends to provide) Yes Water Yes Sewer Yes Electric Yes Natural Gas

Road Access/Proposed Access: (Access to the development/area will be provided from)

Road name: Highway 9 & Maple Street Type of Surface: Asphalt

- ♦ Failure to complete all sections will result in rejection of application and unnecessary delays.
- ♦ I understand that failure to appear at a public hearing may result in the postponement or denial of this application.

[Signature]
Signature of Applicant

6/5/2025
Date

Office Use Only	
Date Completed Application Rec'd:	Amount Paid: \$ CK Cash CC
Date of Planning Commission Meeting:	Dates Advertised:
Date of City Council Meeting:	Rescheduled for next Meeting:
Date of City Council Meeting:	Approved by City Council: YES NO
Approved by Planning Commission: YES NO	Postponed: YES NO Date:

**Disclosure of Campaign Contributions
Applicant(s) and Representative(s) of Rezoning**

Pursuant to OCGA, Section 36-67 A-3. A, the following disclosure is mandatory when an applicant or any representation of application for rezoning has been made with two years immediately preceding the filing of the applicant's request for rezoning, campaign contributions aggregating \$250.00 or more to a local government official who will consider the application for rezoning.

It shall be the duty of the applicant and the attorney representing the applicant to file a disclosure with the governing authority of the respective local government showing the following:

1. Name of local official to whom campaign contribution was made:

None

2. The dollar amount and description of each campaign contribution made by the opponent to the local government official during the two years immediately preceding the filing of the application for the rezoning action and the date of each such contribution.

Amount \$ N/A Date: N/A

Enumeration and description of each gift when the total value of all gifts is \$250.00 or more made to the local government official during the 2 years immediately preceding the filing application for rezoning:

N/A



Signature of Applicant / Representative of Applicant

6/4/25

Date

Failure to complete this form is a statement that no disclosure is required.

Property Owner Authorization

I / We WEAVER DANNY GORDON & MORGAN J hereby swear that I / we own the property located at (fill in address and/or tax map & parcel #) 093 011 as shown in the tax maps and/or deed records of Dawson County, Georgia, and which parcel will be affected by the request.

I hereby authorize the person(s), or entity(ies) named below to act as the applicant or agent in pursuit of the rezoning requested on this property. I understand that any rezone granted, and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within 6 months from the date of the last action by the City Council.

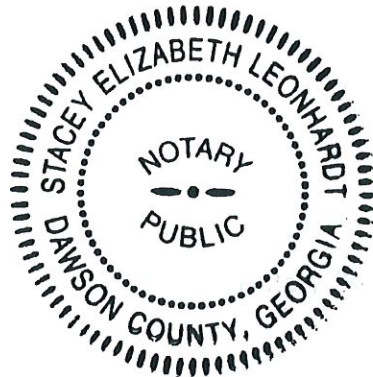
Printed Name of Property Owner Morgan Jade Weaver
Signature of Property Owner [Signature] Date 06-02-25
Mailing Address 93 S.W. Border Ave.
City Dawsonville State GA Zip 30534

Sworn and subscribed before me on this

2 day of JUNE 2025

[Signature]
Notary Public, State of Georgia

My Commission Expires: 7/15/2028



Property Owner Authorization

I / We Dwight D. Gillingham hereby swear that I / we own the property located at (fill in address and/or tax map & parcel #) 416 Hwy 9 S (PN: D-01-010 | D-02-001) as shown in the tax maps and/or deed records of Dawson County, Georgia, and which parcel will be affected by the request.

I hereby authorize the person(s), or entity(ies) named below to act as the applicant or agent in pursuit of the rezoning requested on this property. I understand that any rezone granted, and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within 6 months from the date of the last action by the City Council.

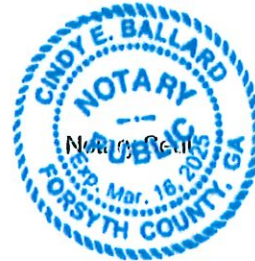
Printed Name of Property Owner Dwight D. Gillingham
Signature of Property Owner [Signature] Date 3/5/25
Mailing Address P.O. Box 157
City Dawsonville State GA Zip 30534

Sworn and subscribed before me on this

5th day of March 2025

Cindy E Ballard
Notary Public, State of Georgia

My Commission Expires: March 16, 2025



Property Owner Authorization

I / We Jimmy Jenkins hereby swear that I / we own the property located at (fill in address and/or tax map & parcel #) 592 Hwy 9 S (P.O. Box 95) as shown in the tax maps and/or deed records of Dawson County, Georgia, and which parcel will be affected by the request.

I hereby authorize the person(s), or entity(ies) named below to act as the applicant or agent in pursuit of the rezoning requested on this property. I understand that any rezone granted, and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within 6 months from the date of the last action by the City Council.

Printed Name of Property Owner Jimmy Jenkins
Signature of Property Owner Jimmy Jenkins Date 3-5-25
Mailing Address P.O. Box 95
City Dawsonville State GA Zip 30734

Sworn and subscribed before me on this

5th day of March 2025

Cindy E. Ballard
Notary Public, State of Georgia

My Commission Expires March 16, 2025



Notary Seal

Disclosure of Campaign Contributions
Applicant(s) and Representative(s) of Rezoning

Pursuant to OCGA, Section 36-67 A-3. A, the following disclosure is mandatory when an applicant or any representation of application for rezoning has been made with two years immediately preceding the filing of the applicant's request for rezoning, campaign contributions aggregating \$250.00 or more to a local government official who will consider the application for rezoning.

It shall be the duty of the applicant and the attorney representing the applicant to file a disclosure with the governing authority of the respective local government showing the following:

1. Name of local official to whom campaign contribution was made:

N/A

2. The dollar amount and description of each campaign contribution made by the opponent to the local government official during the two years immediately preceding the filing of the application for the rezoning action and the date of each such contribution.

Amount \$ N/A

Date: N/A

Enumeration and description of each gift when the total value of all gifts is \$250.00 or more made to the local government official during the 2 years immediately preceding the filing application for rezoning:

N/A



Signature of Applicant / Representative of Applicant

6/5/2025

Date

Failure to complete this form is a statement that no disclosure is required.



EQUIPMENT USED TO OBTAIN THE ABOVE
RESULTS. BARON GCS 28
TOTAL STATION.

①	N 02-16-47 E	11.00
②	N 51-54.04 E	16.16

NOTE: POINTS A, B, C ARE COMMON AS PER MAGNIFIC

**CLERK, BERNARD COUNTY
CLERK'S OFFICE, BERNARD COUNTY**

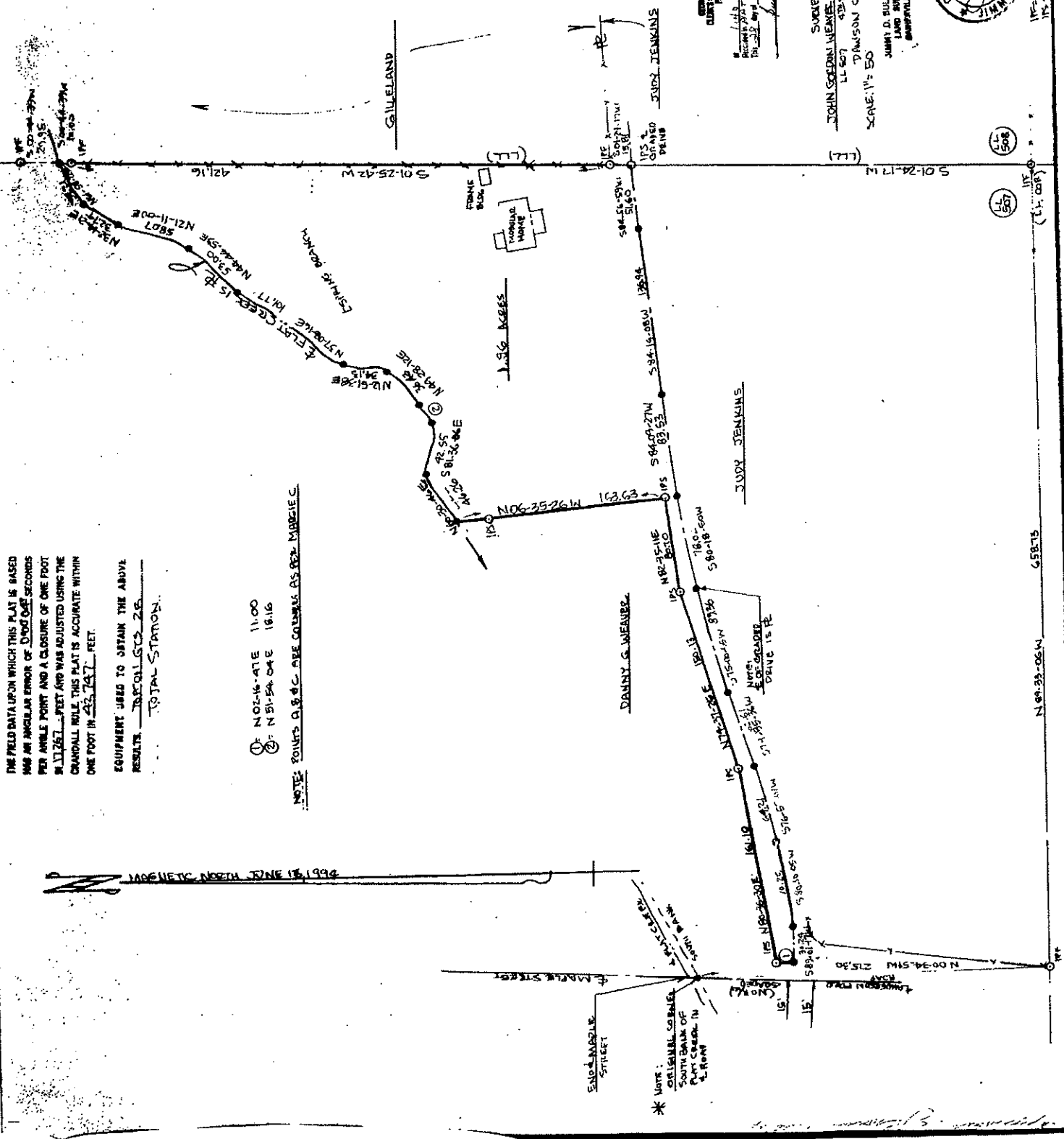
149 20 6-25-74
Received by Mr. [unclear] Page 25
Date - 28 May 1974
Subj: McCord

SURVEY FOR
JOHN GORDON WEAVER & MARIE S. WEAVER
LL 607 QUINCY 12 SECTION
DANSON COUNTY GEORGIA
JUNE 17, 1944
SCALE: 1" = 50'

JIMMY D. BULLOCK & ASSOCIATES
LAND SURVEYING SERVICE
SAVANNAH, GEORGIA 30406



1P5 = IRON PIN FOUND.
235 " " SET



ATTACHMENT "E"

[LEGAL DESCRIPTION OF THE PROPERTY]

All that tract or parcel of land lying and being in Land Lot 507 and 508 of the 4th District, 1st Section of Dawson County, Georgia and being more particularly described as follows:

Beginning at a found 1" rebar located on the Westerly right-of-way of Highway 9; thence leaving said right-of-way along the Southerly line of Land Lot 508 S89°-47'-21"E., 500.61 feet to a found ½ inch rebar; thence S89°-54'-04"E., 786.91 feet to a set pin also being the common corner for land lots 507, 508, 513, and 514; thence S89°-56'-55"E., 675.92 feet; thence leaving said land lot line along a curve to the left 79.95 feet with a radius of 132.53 feet; said curve being subtended by a chord bearing N20°-26'-53"E, and a chord distance of 78.74 feet; thence N03°-42'-57"E., 44.14 feet; thence N00°-06'-36"E., 46.57 feet; thence N01°-47'-09"E., 38.04 feet; thence following along the center line of Border Ave the following 9 courses and distances: following along a curve to the left a distance of 26.09 feet with a radius of 119.99 feet; said curve being subtended by a chord bearing N85°-25'-33"E and a chord distance of 26.04 feet; thence N79°-47'-09"E., 73.30 feet; thence N74°-45'-20"E., 97.92 feet; thence N69°-25'-29"E., 60.46 feet; thence N75°-55'-37"E., 28.14 feet; thence N81°-37'-29"E., 71.70 feet; thence N82°-16'-22"E., 96.37 feet; thence N85°-27'-26"E., 69.70 feet; thence N84°-17'-38"E., 138.00 feet; thence leaving centerline of said road N00°-58'-21"E., 442.61 feet; thence N00°-24'-51"E., 311.26 feet to a found rebar; thence N74°-04'-22"E., 297.57 feet; thence S38°-06'-37"E., 147.22 feet; thence N48°-00'-48"E., 189.43 feet; thence N04°-36'-18"E., 170.14 feet to a found monument; thence N61°-49'-19"E., 10.87 feet; thence N0°-37'-30"E., 129.37 feet to a point located on the Westerly right-of-way of Highway 9; thence moving along said right-of-way the following 8 bearings and distances: following along a curve to the left a distance of 272.99 feet and a radius of 1953.87 feet; said curve being subtended by a chord bearing S30°-15'-21"E and a chord distance of 292.77 feet; thence along a curve to the left a distance of 290.67 feet with a radius of 3144.02 feet; said curve being subtended by a chord bearing S35°-55'-08"E and a chord distance of 290.56 feet; thence S38°-03'-51"E., 191.99 feet; thence along a curve to the right a distance of 82.20 feet with a radius of 829.86 feet; said curve being subtended by a chord bearing S37°-47'-34"E and a chord distance of 82.17 feet; thence along a curve to the right a distance of 168.43 feet and a radius of 838.09 feet; said curve being subtended by a chord bearing S29°-17'-34"E and a chord distance of 168.15 feet; thence along a curve to the right a distance of 241.71 feet with a radius of 2411.63 feet; said curve being subtended by a chord bearing S17°-27'-31"E and a chord distance of 241.61 feet; thence S15°-34'-10"E., 218.34 feet; thence following along a curve to the right a distance of 198.13 feet with a radius of 1012.36 feet; said curve being subtended by a chord bearing S11°-38'-22"E and a chord distance of 197.81 feet to the Point of Beginning

Said parcel of land contains 32.75 acres more or less of land.

TOGETHER WITH

All that tract or parcel of land lying and being in Land Lot 507 of the 4th District, 1st Section of Dawson County, Georgia, containing 1.96 acres, more or less, as shown on a plat prepared by Jimmy D. Bullock, Georgia Registered Surveyor, a copy of which is recorded in Plat Book 35, Page 35, Dawson County Deed Records, to which plat this reference is made and incorporated herein by reference.

MINUTES 04

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DECATUR FEDERAL SAVINGS
AND LOAN ASSOCIATION,
DATED 8-14-1992. PREPARED
BY J. A. PAGE, JR., RLS NO.
1804. SAID PLAT IS
RECORDED IN PLAT BOOK
30, PAGE 139 AND
SUBDIVISION PLAT IS
RECODED IN PLAT BOOK 17,
PAGE 7, DAWSON COUNTY,
GEORGIA RECORDS, WHICH
SAID PLAT IS
INCORPORATED HEREIN BY
THIS REFERENCE AND MADE
A PART OF THIS
DESCRIPTION.

Said property being known
as: **105 RIVER VALLEY RD,
DAWSONVILLE, GA 30534**

To the best of the
undersigned's knowledge,
the party or parties in
possession of said property
is/are BRANDON WILEY
SAMPLES or tenant(s).

The debt secured by said
Security Deed has been and
is hereby declared due and
payable because of, among
other possible events of
default, failure to pay the
indebtedness as provided for
in the Note and said Security
Deed. The debt remaining in
default, this sale will be
made for the purpose of
paying the same and all
expenses of sale, including
attorney's fees (notice of
intent to collect attorney's
fees having been given).

Said property will be sold
subject to the following: (1)
any outstanding ad valorem
taxes (including taxes which
are a lien, whether or not yet
due and payable); (2) the
right of redemption of any
taxing authority; (3) any
matters which might be
disclosed by an accurate
survey and inspection of the
property; and (4) any
assessments, liens,
encumbrances, zoning
ordinances, restrictions,
covenants, and matters of
record superior to the
Security Deed first set out
above.

Said sale will be conducted
subject to the following: (1)
confirmation that the sale is

IN LAND LOT 474 OF THE
NORTH HALF OF THE 13TH
DISTRICT, 1ST SECTION,
DAWSON COUNTY,
GEORGIA, CONTAINING 4
ACRES, SHOWN ON A PLAT
PREPARED FOR MICHAEL N.
AND KATHRYN E. JONES BY
JOHN CRAIG CRANSTON,
GRLS, DATED JUNE 1, 1980, A
COPY OF WHICH IS
RECORDED IN PLAT BOOK 9,
PAGE 58, DAWSON COUNTY
DEED RECORDS AND
INCORPORATED HEREIN BY
REFERENCE, AND TO WHICH
THIS REFERENCE IS MADE
FOR A MORE PARTICULAR
DESCRIPTION OF THE
PROPERTY.

Said property is known as
**1220 New Bethel Church
Road, Dawsonville, GA
30534**, together with all

fixtures and personal
property attached to and
constituting a part of said
property, if any.

This conveyance is made
subject to that certain
Security Deed in favor of
Bank of America, N.A.,
recorded in Deed Book 618,
page 305, Dawson County
Records.

Said property will be sold
subject to any outstanding
ad valorem taxes (including
taxes which are a lien,
whether or not now due and
payable), the right of
redemption of any taxing
authority, any matters which
might be disclosed by an
accurate survey and
inspection of the property,
any assessments, liens,
encumbrances, zoning
ordinances, restrictions,
covenants, and matters of
record superior to the
Security Deed first set out
above.

The proceeds of said sale will
be applied to the payment of
said indebtedness and all
expenses of said sale as
provided in said Deed, and
the balance, if any, will be
distributed as provided by
law.

The sale will be conducted
subject (1) to confirmation

Public Hearings

Notice of Public Hearing

The City of Dawsonville
Planning Commission and
the City of Dawsonville
Mayor and City Council will
each conduct a public
hearing at the respective
dates and times provided
below, regarding a certain
matter itemized herein.
Public hearings will be
conducted in the Council
Chambers on the second
floor of City Hall located at
415 Hwy. 53 East,
Dawsonville Georgia 30534.
The public is invited to
attend. **ZA-C2500171: PR**

Land Investments, LLC has
petitioned for an
amendment to the official
zoning map applicable to
the properties provided
below. The applicant

proposes the properties be
rezoned from R-1 and R-3:
Restricted Single-Family
Residential District and
Single-Family Residential
District to RPC: Residential
Planned Community, for the
development of 120 single-
family semi-detached
homes. **Tax Map Parcel 093
010 (592 HWY 9 S), Tax
Map Parcel 093 011 (93
Southwest Border Ave),
Tax Map Parcel D02 004,
and Tax Map Parcel D04
010 (416 HWY 9 S).** Public

Hearings Dates: Planning
Commission July 14, 2025, at
5:30 p.m. and Mayor and City
Council August 4, 2025, at
5:00 p.m. City Council for a
decision on August 18, 2025.

VAR-C2500168: Integrity
Engineering and
Development Services, Inc.
with Dawsonville Fee Owner,
LLC has requested to vary
from the general sign
regulations at **25 Main
Street (Tax Map Parcel D04
020 004)** to allow wall
signage on all four (4)
façades of the building.

Public Hearing Date: City
Council on Monday, July 21,
2025. City Council for a

decision on Monday, August
4, 2025. If you wish to speak
on the request, please
contact City Hall for a
CAMPAIGN DISCLOSURE
form. **This form is only
needed if you have made
campaign contributions in
the amount of \$250.00 or
more within 2 years prior
to this date.** Those persons
with disabilities who require
reasonable accommodations
in order to allow them to
observe and/or participate in
this meeting or who have
questions regarding the
accessibility of the meeting,
should contact the Clerk at
Dawsonville City Hall at
706-265-3256 at least two (2)
business days prior to the
meeting.

148864 6/25

Public Sales/Auctions

NOTICE OF PUBLIC SALE OF PERSONAL PROPERTY

Notice is hereby given that
USA Storage Centers - Grant
Rd, phone (706) 216-0057,
located at 42 Grant Rd. Ste
200, Dawsonville, GA, 30534
will hold a Public Sale, to
satisfy the lien of the owner.
This notice is given in
accordance with the
provisions of Georgia Self
Storage Facility Act, Georgia
Code 10-4-210 to 10-4-215.
Units will be sold via online
auction, at

www.StorageTreasures.com.
Auction will close on or after
Thursday July 10, 2025 at
10:00 am. The personal
goods stored therein by the
following may include, but
are not limited to household
goods, furniture, tools,
equipment, toys, boxes,
clothes and misc items.
Owner reserves the right to
bid and the right to refuse
bids. Cleanup deposit is
required. Sale is subject to
cancellation. The contents of
the rental storage units
belonging to the following
persons will be sold:

C02 - Anthony and Shamia
Jones 661-350-8354

A08 - Amber Gilbert

D33 - Lisa Estes

D17 - Lisa Estes

148542 6/25, 7/2

To be auctioned on June
28th 2025 at 11:00 am to



DAWSONVILLE CITY COUNCIL EXECUTIVE SUMMARY FOR AGENDA ITEM # 12

SUBJECT: **ZA-C2500169**

CITY COUNCIL MEETING DATE: 09/22/2025

BUDGET INFORMATION: GL ACCOUNT # _____

☐ Funds Available from: _____ Annual Budget _____ Capital Budget Other _____

☐ Budget Amendment Request from Reserve: _____ Enterprise Fund _____ General Fund

PURPOSE FOR REQUEST: **TABLE PUBLIC HEARING**

ZA-C2500169: Spicer Group Inc. on behalf of Dede Allen, Habitat for Humanity - NCG has petitioned for an amendment to the official zoning map applicable to the properties provided below. The applicant proposes the properties be rezoned from R-2: Single-Family Residential District to RCT: Residential Cottage, for the development of a micro-planned/pocket cottage development. Tax Map Parcels: D01 047 005 (Stegall Place), D01 047 006 (Stegall Place), D01 047 007 (Stegall Place), D01 047 008 (Stegall Place), D01 047 009, and D01 047 010. Planning Commission Public Hearing Date: September 15, 2025, at 5:30 PM. Mayor and City Council Public Hearing Date: September 22, 2025, at 5:00 PM. *Planning Commission Tabled the decision until October 13, 2025.*

HISTORY/ FACTS / ISSUES:

- **+/- 3.13 acres**
- **12 dwelling units / 3.84 density per acre**
- **Vacant land**
- **Planning Commission Tabled the decision until October 13, 2025**

OPTIONS:

RECOMMENDED SAMPLE MOTION:

REQUESTED BY: CPL, Planning & Zoning Department



CITY OF DAWSONVILLE

Planning Staff Report

Request to Amend the Zoning Map (Rezone)

APPLICANTSpicer Group Inc. on behalf of Dede Allen, Habitat for Humanity - NCG

CASE NUMBERZA-C2500169

REQUESTAmend the zoning map to rezone the assemblage from R-2: Single-Family Residential District to RCT: Residential Cottage, for the development of a micro-planned/pocket cottage development.

CURRENT ZONING DESIGNATIONR-2: Single-Family Residential District

SITE AREA+/- 3.13 acres

LOCATIONStegall Place

TAX MAP PARCELSD01 047 005, D01 047 006, D01 047 007, D01 047 008, D01 047 009 & D01 047 010

FUTURE LAND USE DESIGNATIONSResidential

PLANNING COMMISSION PUBLIC HEARING DATE...September 15, 2025 (recommendation tabled to October 13, 2025)

P.C. RECOMMENDATION MEETING DATE*October 13, 2025

CITY COUNCIL MEETING DATE.....September 22, 2025 (public hearing and decision meetings to be tabled to later dates)

INTRODUCTION

The applicant is petitioning to amend the zoning map to rezone six (6) parcels from R-2: Single-Family Residential District to RCT: Residential Cottage for the development of a 12-unit planned cottage development. If the proposal is approved as presented, the vacant site would be developed with 12 single-family detached "cottage" residences, resulting in 3.84 dwelling units per acre.

PROPOSAL

The subject 3.13 +/- assemblage is in a primarily residential area, and property tax records show no history of development. The applicant proposes the rezoning and combination of the parcels for a planned development of detached cottage homes. A common access drive stemming from Stegall Place would serve the site, with

*Hearing and meeting dates are subject to change

amenity and stormwater management areas at the rear. The table below summarizes development specifications:

Specification	Proposed RCT Development	Code Standard (Article XXI)
Maximum Heated Floor Area (HFA)	1,350 sq. ft.*	1,000 sq. ft.
Maximum Residential Density	3.84 du/acre	8.00 du/acre
Cluster Unit Count	12 cottages	6 to 12 cottages
Residential Lot Area	0.048 to 0.053 acres	N/A
Minimum Parking Count	2.08 spaces per residence (25 total)	2 spaces per residence
Minimum Exterior Buffer Width	40 ft.*	50 ft.
Minimum Open/Green Space	57.5% of development site	50% of development site
Minimum Private Area Open Space	403 sq. ft.	300 sq. ft.
Note: Items marked with an asterisk (*) do not meet the Code requirement as presented.		

If the Mayor and City Council approve the subject rezoning request, the site would become the first RCT: Residential Cottage zone in Dawsonville. This district is intended to provide “smaller more economic house[s]” through “single-family cottages” in a planned development setting (Sec. 2101). Cottages are envisioned to be located on individual lots, proximate to a central common area equipped with resident amenities (Sec. 2103). The submitted concept plan incorporates a main access drive that bisects the development, an alley way, and a common parking area. Internal sidewalks are depicted, interconnecting every cottage lot, the amenity area, and the Stegall Place right-of-way. The site would be served by City water and sewerage.

Vehicle parking would be split between the proposed alley and common parking lot. The alley would accommodate proposed cottages 1 through 8, serving eight (8) parking spaces, one on each cottage lot. The parking spaces would be deep enough to “stack” two vehicles in each (the first parked car would be trapped by the car parked afterward). However, stacked parking spaces cannot satisfy parking count requirements as each space is definitionally required to have “maneuvering space” (Sec. 301). The proposed common parking lot would contain 16 parking spaces and provide access to one (1) parking space on the cottage 9 lot. Cottages 10 through 12 would be served only by the communal parking area.

Beyond the proposed internal sidewalks, the concept plan also shows sidewalk construction along the entire development frontage, spanning east to the northwest corner of Maple Street. The amenity area, at a minimum, would include a playground and a community building. The function of the proposed community building is unclear, as is the location of the required communal mail kiosk. Each cottage would front a portion of the vegetated common area, in which new tree plantings are conceptualized. A 40-foot exterior buffer is shown at the sides (east and west) and rear (north) of the assemblage in lieu of the Code-required 50-foot exterior buffer (Sec. 2103.9). Independent from this request to amend the zoning map, the applicant has requested a zoning variance (case VAR-C2500170) to reduce the exterior buffer depth from 50 feet to 40 feet, subject to review and approval by the Mayor and City Council.

Each cottage in the development is conceptualized with 403 square feet of private open space. This is separate from the common area, as private space is located directly on each cottage parcel. Each cottage would also be equipped with a private, covered porch. The concept plan notes a setback of “10’ between walls of buildings without windows;” however, the plan shows all cottages separated from each other by at least 20 feet. Cottage windows must be positioned “so that no window peers into the living space of adjacent dwellings closer than 30 feet apart” (Sec. 2103.7). The applicant has not demonstrated compliance with this requirement at this time,

but compliance is theoretically possible based on site layout. This requirement would be enforced before the issuance of a building permit.

The concept plan provides a typical building footprint of 735 square feet per cottage. Cottage lot sizes would range from 0.048 acres (2,095 square feet) to 0.053 acres (2,318 square feet). Some or all of the cottages would have a second story, as the maximum heated floor area (HFA) proposed is 1,350 square feet. This exceeds the 1,000 square foot heated floor area maximum established by Sec. 2102.1 by thirty-five percent (35%) margin. Pursuant to the authority to grant variances per Sec. 907.II.A, a variance from the 1,000 square foot heated floor area maximum cannot be issued. Therefore, the proposed cottage heated floor areas directly violate the provisions of the RCT: Residential Cottage district.

The submitted concept plan would be used as the basis for site development, subject to the approval of the Mayor and City Council. In their letter of intent, the applicant requests site development flexibility, to avoid future public hearings (by the Planning Commission and/or Mayor and City Council) and keep approval of said changes at the administrative level. The applicant describes “incidental” changes as those regarding “size and shape of home,” “configuration and orientation of driveways and parking,” and “a decrease in the number of houses” with further context provided in the letter of intent. The Dawsonville legal team and City staff do not find this request to be acceptable; changes to the site/concept plan and layout would be processed at the time of submittal, and depending on their nature, may or may not require public hearings by the Planning Commission and Mayor and City Council for further approval.

In November of 2025, Habitat for Humanity initiated a request to rezone the subject properties to RCT: Residential Cottage to construct 22 cottages. Prior to the January 9, 2025, Mayor and City Council public meeting, the applicant withdrew the application.

SURROUNDING PROPERTIES

<i>Direction from the Site</i>	<i>Existing Zoning</i>	<i>Existing Land Use</i>
North	CBD, HB, R-2	Single-family residential, agriculture, government office
South	R-2	Single-family residential, vacant land
East	R-2	Single-family residential, multi-family residential
West	CBD, R-2	Single-family residential, agriculture

COMPREHENSIVE PLAN

Pursuant to the 2023 Dawsonville Comprehensive Plan, the subject assemblage is in the Residential Character Area.

The Residential Character Area “represents the outlying residential portions of the city to the northwest, northeast and south. There are no immediate plans to alter their general form or land use, and long term plans suggest these areas will remain residential. Present levels of agricultural activity will continue as development pressures will allow, but neither the city nor the county will pursue capital improvements in this region to facilitate new development.

This area will be fostered as a haven for larger residential uses and rural/conservation subdivisions to facilitate a buffer between the higher densities of Dawsonville and the rest of Dawson County. Most development should

entail large lots, with an average approaching or, preferably, surpassing five acres per unit [0.2 du/acre]. Nonresidential activity should be kept to a minimum and compliment the rural character of the area, such as churches, neighborhood scale markets and services with limited parking and traffic generation.”

Permissible land use types in Residential Character Area are Residential, Agricultural, and Conservation.

The proposed development generally aligns with the intent of the Residential Character Area. However, the proposed gross density of 3.84 du/acre surpasses the intended 0.2 du/acre density of the Area.

ANALYSIS

(1) Sec. 909 – Criteria to consider for map amendments (rezonings).

Any proposed amendment to the zoning map shall be submitted by application with a copy of the plat and payment of a fee set by the governing body for the application and review of the proposed amendment to the zoning map. Applicants shall submit six copies of any proposed zoning map amendment and plat to the planning director or designee for distribution to the applicable bodies and/or review agencies. The planning director or designee may require more or less copies depending on the nature and extent of required review. Applications which require action by the governing body shall require disclosure of any conflicts of interest as specified in the Georgia Zoning Procedures Act.

The applicant, staff, planning commission and governing body should review an application for zoning map amendment with regard to the following criteria:

(Language in bold is from the City of Dawsonville Zoning Ordinance. Bulleted information that is not bolded are factors known to staff that may apply to the Ordinance criteria.)

- 1. The existing uses and zoning of nearby property and whether the proposed zoning will adversely affect the existing use or usability of nearby property.**
 - Most of the properties near the subject assemblage are zoned R-2: Single-family Residential District.
 - i. Most of these sites are developed with single-family residences.
 - The other nearby zones (HB: Highway Business and CBD: Central Business District) accommodate civic, single-family residential, and agricultural land uses.
 - Staff does not anticipate any adverse effects on the use or habitability of nearby properties as a result of the proposal.
- 2. The extent to which property values are diminished by the particular zoning restrictions.**
 - As currently zoned, the assemblage is vacant and has no recorded history of development, according to the Dawson County tax assessor’s data.
 - i. The site is zoned similarly to most abutting properties, which are predominantly developed with single-family residences.
 - Absent a formal market analysis, staff is unable to determine the impact of the existing zoning classifications on the sites’ property values.

3. **The extent to which the destruction of property values promotes the health, safety, morals or general welfare of the public.**
 - Absent a formal market analysis, staff is unable to determine the impact of the development proposal on local property values.
4. **The relative gain to the public, as compared to the hardship imposed upon the individual property owner.**
 - The rezoning proposal may result in a development that is beneficial to the community.
 - i. The proposed cottages would introduce new “entry-level” housing to the area, fulfilling Community Need and Opportunity C.1 pursuant to the Comprehensive Plan (pg. 22).
 - The applicant has voluntarily presented the subject application to the City.
5. **The physical suitability of the subject property for development as presently zoned and under the proposed zoning district.**
 - The assemblage is currently zoned R-2: Single-family Residential.
 - i. The site appears suitable for single-family residential development at densities of up to 2.0 units per acre as presently zoned.
 - The applicant proposes rezoning the site to RCT: Residential Cottage, to develop 12 single-family cottages. The following proposal specifications deviate from the existing R-2 zone:
 - i. The proposed residences would measure no greater than 1,350 square feet. The *minimum* floor area for residences in the R-2 zone is 1,400 square feet.
 - ii. The gross residential density for the development would be 3.84 units per acre. In the R-2 zone, density must not exceed 2.0 dwelling units per acre.
 - iii. The proposed minimum lot area is 2,095 square feet (0.048 acres). In the R-2 zone, parcels must measure no less than 20,000 square feet (0.459 acres).
 - iv. The proposed cottages would be individually platted on lots oriented around common areas, as opposed to each fronting a public street. In the R-2 zone, each parcel must front a public street for no less than 30 feet.
6. **The length of time the property has been vacant, considered in the context of land development in the area in the vicinity of the property, and whether there are existing or changed conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the rezoning request.**
 - The assemblage has been vacant for all recorded history.
 - i. Property tax records do not indicate any past development of the assemblage.
 - Staff has not identified any existing or changing conditions that inherently support the approval or disapproval of the subject rezoning request.
7. **The zoning history of the subject property.**
 - The current zoning configuration of the site has been maintained for many years.
 - On January 8, 2025, an application to rezone the subject assemblage to RCT: Residential Cottage was withdrawn on behalf of the applicant.

8. **The extent to which the proposed zoning will result in a use, which will or could cause excessive or burdensome use of existing streets, transportation facilities, utilities, schools, parks, or other public facilities.**
 - The proposal is not anticipated to burden local streets, utilities, schools, parks, or other public facilities.
9. **Whether the zoning proposal is in conformity with the policy and intent of the comprehensive plan, land use plan, or other adopted plans.**
 - The zoning proposal somewhat meets the intent of the 2023 Dawsonville Comprehensive Plan.
 - i. The calculated gross residential density of 3.84 du/acre exceeds the 0.2 du/acre intended for the Residential Character Area.
 - ii. The introduction of smaller, relatively lower-priced housing units to the City furthers housing goals (pg. 22).

The staff, planning commission and governing body may consider other factors deemed relevant before formulating recommendations and taking action on a particular request.

(2) Sec. 2103 – Micro-planned/pocket development regulations.

(Language in bold is from the City of Dawsonville Zoning Ordinance. Bulleted information that is not bolded are factors known to staff that may apply to the Ordinance criteria.)

1. **Site plan approval by the planning commission and the mayor and council is required. Site lots should be designed and laid out in a clusters and shall have a central common area.**
 - The applicant has submitted a concept plan as part of the rezoning application. The plan visualizes a cluster of 12 cottage homes that share a connected common area.
2. **Each cottage shall be located on its own lot of record, and subdivision plat approval shall be required in accordance with the City of Dawsonville Regulations. All other land areas within the micro-development shall be under common ownership.**
 - The applicant intends to subdivide the assemblage to provide an individual parcel for each cottage.
3. **Clusters shall consist of six to 12 cottage units. There shall be a minimum separation between clusters of 50 maintained in an undisturbed buffer.**
 - The proposed cottage cluster would contain 12 units.
4. **All streets within a micro-planned development shall be built to city specifications as provided in the city development regulations and dedicated to the city.**
 - A street, an alley, and a common parking lot are proposed to serve the development.
 - i. Street design specifications would be assessed at the time of Land Disturbance Permitting (LDP).
5. **Insofar as practicable, common parking areas comprised of pervious pavement shall be provided with walkways to a central common area as well as to each cottage. Parking facilities shall be grouped with no less than three spaces each. Minimum parking required shall be two per cottage unit.**
 - The surface composition of the common parking lot is unspecified.

- Sidewalks and walkways are depicted, connecting each cottage to the common parking area.
 - The common parking area is shown to contain 16 spaces, in addition to 9 spaces located on individual cottage lots. In total, 2.08 parking spaces would be provided per cottage.
6. **All structures must be either site built or industrialized (modular) homes and placed on a permanent foundation. Structures shall not be placed in a way which would block the occupants' view of the central common area.**
 - Each cottage would be built upon a slab foundation per the letter of intent.
 7. **Privacy between cottage units: Dwellings shall be designed so that no window peers into the living space of adjacent dwellings closer than 30 feet apart.**
 - The current site layout and design would allow for privacy between cottage units as required.
 - i. Compliance with this requirement would be confirmed at the time of permitting.
 8. **The site shall be at a minimum 50 percent greenspace for micro-planned developments. Each unit shall have 300 square feet of private open space and a minimum of 3,000 square feet of common area open space. Additionally, At least 75 percent of the dwelling units of each cluster shall abut the common open space; and all of the dwelling units shall be within 60 feet walking distance measured from the nearest entrance of the dwelling along the shortest safe walking route to the nearest point of the common open space. The common open space shall have dwellings abutting at least two sides.**
 - Approximately 57.5% of the assemblage would consist of vegetated space (not covered with buildings or pavement).
 - Each cottage is conceptualized with 403 square feet of private open space, and all would abut and share 5,500 square feet of landscaped open space.
 9. **A 50-foot undisturbed buffer shall be required along the property lines where a residential cottage micro-planned development abuts a zoning district other than RCT.**
 - Separate from this application to amend the zoning map, the applicant has requested a variance (case VAR-C2500170) from this provision, to reduce the undisturbed buffer depth to 40 feet (a 20% decrease).
 10. **Amenity areas such as a community center, central gazebo, playgrounds, etc. are required.**
 - A playground and community building are proposed. The function of the proposed community building is unknown.

DOWNTOWN DEVELOPMENT AUTHORITY COMMENTS

The subject parcels are within the City of Dawsonville Downtown Development Authority District boundary. The parcels are outside of the historic district overlay, are not contiguous with the future town center property, yet fall in a nearby transitional zone primarily identified in the comprehensive strategic plan as desirable for residential infill development or redevelopment, particularly where the final product results in enhancement of blighted property and architectural character.

- The establishment of new sidewalks along Stegall Place, joining with existing sidewalks on Maple Street, provide desirable additional pedestrian connectivity between residential infill and downtown civic and commercial establishments consistent with Downtown Development Goal #4 - Connectivity & Accessibility: Improve connectivity and accessibility throughout downtown by expanding multi-modal

facilities and safely linking vehicular routes, whenever possible planning for larger connectivity throughout the community.

- Inclusion of any of the following architectural styles are preferred by the community: Craftsman, Italianate, Folk Victorian, or Colonial Revival for placemaking purposes. Application of design guidelines and landscape patterns found in pages 75-91 of the Comprehensive Downtown Dawsonville Strategic Plan are encouraged.

STAFF RECOMMENDATION

Note: The Mayor and City Council are procedurally required to **table** the subject map amendment request, pending a recommendation from the Planning Commission (Sec. 913).

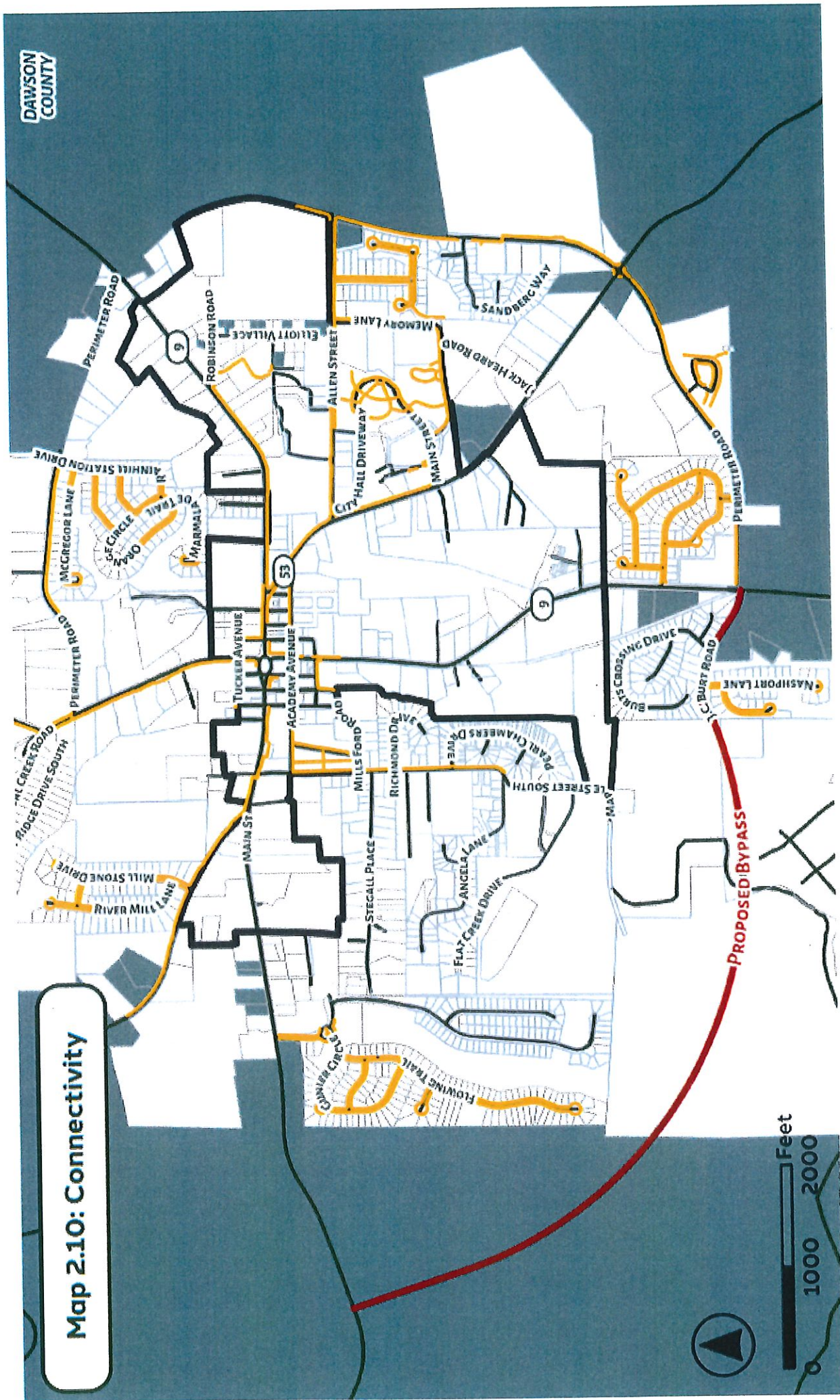
Staff recommends **denial** of the request to amend the zoning map to rezone a 3.13 +/- acre assemblage from R-2: Single-Family Residential District to RCT: Residential Cottage. The rationale for this recommendation of denial is provided below:

1. The proposed construction of cottages in a RCT zone with 1,350 square feet of heated floor area (HFA) violates the provisions of Zoning Ordinance Sec. 2102.1. The maximum allowable cottage HFA is 1,000 square feet; this requirement cannot be relieved by a zoning variance.
2. The proposal does not substantially conform to the Comprehensive Plan's Residential Character Area due to incompatible residential density.

PLANNING COMMISSION RECOMMENDATION

At their public meeting on September 15, 2025, the Dawsonville Planning Commission **tabled** the subject map amendment request to the Planning Commission meeting scheduled October 13, 2025, at 5:30 PM.

Map 2.10: Connectivity

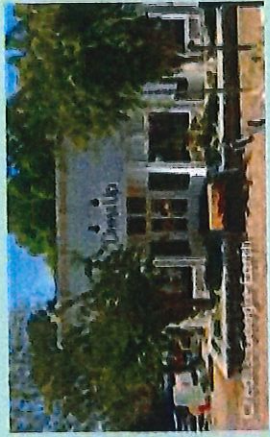


DOWNTOWN DAWSONVILLE // CONNECTIVITY

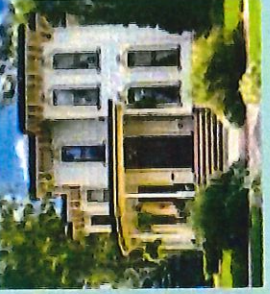
- ROADS
- SIDEWALKS
- PROPOSED BYPASS
- STUDY AREA
- UNINCORPORATED DAWSON COUNTY

ARCHITECTURE STYLES

CRAFTSMAN



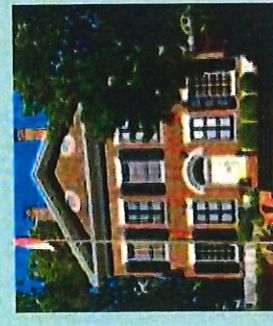
ITALIANATE



FOLK VICTORIAN



COLONIAL REVIVAL



City Council:
Caleb Phillips, Post 1
William Illg, Post 2
Sandy Sawyer, Post 3
Mark French, Post 4



John Walden
Mayor

Jacob Evans
City Manager

Beverly Banister
City Clerk

Planning Commission:

Dr. Saba Hareinger, At-Large
Madison Eiberger, Post 1
Vacant, Post 2
Randy Davis, Chairperson Post 3
Ashley Stephenson, Post 4

415 Highway 53 East, Suite 100
Dawsonville, GA 30534
Office (706)265-3256
www.dawsonville-ga.gov

Stacy Harris
Zoning Admin

PUBLIC HEARING NOTICE

The City of Dawsonville Planning Commission and the City of Dawsonville Mayor and City Council will each conduct a public hearing at the respective dates and times provided below, regarding a certain matter itemized herein. Public hearings will be conducted in the Council Chambers on the second floor of City Hall located at 415 Hwy. 53 East, Dawsonville Georgia 30534. The public are invited to attend.

.....

VAR-C2500170: Spicer Group Inc. on behalf of Dede Allen, Habitat for Humanity - NCG has petitioned for a variance from Sec. 2103.9. Specifically, they request a reduction of the minimum required undisturbed buffer width for the proposed RCT: Residential Cottage zone from 50 feet to 40 feet at the rear (north) and side (east and west) property lines, applicable to the properties below.

Tax Map Parcels: D01 047 005 (Stegall Place), D01 047 006 (Stegall Place), D01 047 007 (Stegall Place), D01 047 008 (Stegall Place), D01 047 009, and D01 047 010.

Mayor and City Council Public Hearing Date: September 22, 2025, at 5:00 PM.

If you wish to speak on the request, please contact City Hall for a CAMPAIGN DISCLOSURE form. ***This form is only needed if you have made campaign contributions in the amount of \$250.00 or more within 2 years prior to this date.***

Those persons with disabilities who require reasonable accommodations in order to allow them to observe and/or participate in this meeting or who have questions regarding the accessibility of the meeting, should contact the Clerk at Dawsonville City Hall at 706-265-3256 at least two (2) business days prior to the meeting.



City of Dawsonville

415 Highway 53 East, Suite 100
Dawsonville, GA 30534
(706) 265-3256

Zoning Amendment Application

Application#: 2A-CR500169

Applicant Name(s): Habitat for Humanity - NCG

Address: 814 Mimosa Blvd Bldg C City: Roswell, GA Zip: 30075

Cell Phone: [REDACTED] Email: dallen@habitat-ncg.org

Signature(s): [Signature] Date: 7-22-25

Property Address: Stegall Pl.

Directions to Property from City Hall: Take a right out of city hall onto Hwy 53. Follow Hwy 53 until you get to Maple St. Take a left and follow until you get a Stegall Pl. Site is located on your right.

Tax Map Parcel #: D01 047 010. D01 047 009. D01 047 008 Current Zoning: R-2
D01 047 007. D01 047 006. D01 047 005

Land Lot(s): 439 & 446 District: 4th Section: 1st

Subdivision Name: Dawsonville Commons Lot #:

Acres: 3.128 ac Current use of property: Undeveloped and wooded

Has a past request of Rezone of this property been made before? yes If yes, provide ZA# C2500044

The applicant request:

Rezoning to Zoning category: RCT Conditional Use permit for:

Proposed use of property if rezoned: Cottage Style community

Residential # of lots proposed: 12 Minimum lot size proposed 2,095 sq/ft (Include Conceptual Plan)

Amenity area proposed Yes, if yes, what Community Center

If Commercial: total building area proposed: (Include Conceptual Plan)

Utilities: (utilities readily available at the road frontage): ☒ Water ☒ Sewer ☒ Electric ☐ Natural Gas

Proposed Utilities: (utilities developer intends to provide) ☒ Water ☒ Sewer ☒ Electric ☐ Natural Gas

Road Access/Proposed Access: (Access to the development/area will be provided from)

Road name: Stegall Pl Type of Surface: Asphalt

☒ Failure to complete all sections will result in rejection of application and unnecessary delays.

☒ I understand that failure to appear at a public hearing may result in the postponement or denial of this application.

[Signature]
Signature of Applicant

7-22-25
Date

Office Use Only	
Date Completed Application Rec'd:	Amount Paid: \$ CK Cash CC
Date of Planning Commission Meeting:	Dates Advertised:
Date of City Council Meeting:	Rescheduled for next Meeting:
Date of City Council Meeting:	Approved by City Council: YES NO
Approved by Planning Commission: YES NO	Postponed: YES NO



EXHIBIT 'A'

ALL THAT TRACT OR PARCEL OF LAND, LYING AND BEING IN LAND LOT 446, 4TH DISTRICT, 1ST SECTION, DAWSON COUNTY, GEORGIA, AND BEING FULLY DESCRIBED ON A PLAT PREPARED BY RICHARD H. HOLCOMB, GEORGIA REGISTERED LAND SURVEYOR, DATED JULY 14, 2001: AND AS PER SAID PLAT, THE PROPERTY CONTAINS 3.13 ACRES, MORE OR LESS, BEING LOTS A, B, C, D, E AND F, SUBJECT PLAT RECORDED IN PLAT BOOK 51, PAGE 157, DAWSON COUNTY RECORDS. SAID PLAT IS HEREBY INCORPORATED BY REFERENCE.

THIS CONVEYANCE IS MADE TOGETHER WITH AND SUBJECT TO EASEMENTS FOR PUBLIC ROADS AND UTILITIES NOW IN USE.

THIS CONVEYANCE IS MADE TOGETHER WITH AND SUBJECT TO ANY EASEMENTS OF RECORDS OR EASEMENTS LOCATED ON THE PROPERTY ABOVE DESCRIBED.

24RE-327

CH
BM
BA

Property Owner Authorization

I / We Habitat for Humanity - NCG hereby swear that I / we own the property located at (fill in address and/or tax map & parcel #) D01 047 010, D01 047 009, D01 047 008, D01 047 007, D01 047 006, D01 047 005 as shown in the tax maps and/or deed records of Dawson County, Georgia, and which parcel will be affected by the request.

I hereby authorize the person(s), or entity(ies) named below to act as the applicant or agent in pursuit of the rezoning requested on this property. I understand that any rezone granted, and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within 6 months from the date of the last action by the City Council.

Printed Name of Property Owner

Dede Allen - Habitat for Humanity NCG

Signature of Property Owner

Dede Allen

Date

7-22-25

Mailing Address

814 Mimosa Blvd

City

Roswell

State

GA

Zip

30075

Sworn and subscribed before me on this

7-22 day of July 2025

[Signature]

Notary Public, State of Georgia

My Commission Expires:

01/13/29



Notice of Residential-Agricultural District (R-A) Adjacency

Agricultural districts include uses of land primarily for active farming activities and result in odors, noise, dust, and other effects, which may not be compatible with adjacent development. Future abutting developers which are not in R-A land use districts shall be provided with this "Notice of R-A Adjacency" prior to administrative action on either the land use district or the issuance of a building or occupancy permit.

Prior to administrative action the applicant shall be required to sign this waiver which indicates that applicant understands that a use is ongoing adjacent to his use which will produce odors, noise, dust and other effects which may not be compatible with the applicant's development. Nevertheless, understanding the effects of the adjacent R-A use, the applicant agrees by executing this form to waive any objection to those effects and understands that his district change and / or his permits are issued and processed in reliance on his agreement not to bring any action asserting that the adjacent uses in the R-A district constitute a nuisance against local governments and adjoining landowners whose property is located in an R-A district.

This notice and acknowledgement shall be public record.


Signature of Applicant / Representative of Applicant

7-22-25
Date

Sworn to and subscribed before me on this

22 day of July 2025.


Notary Public, State of Georgia

My Commission Expires: 01/13/29



**Disclosure of Campaign Contributions
Applicant(s) and Representative(s) of Rezoning**

Pursuant to OCGA, Section 36-67 A-3. A, the following disclosure is mandatory when an applicant or any representation of application for rezoning has been made with two years immediately preceding the filing of the applicant's request for rezoning, campaign contributions aggregating \$250.00 or more to a local government official who will consider the application for rezoning.

It shall be the duty of the applicant and the attorney representing the applicant to file a disclosure with the governing authority of the respective local government showing the following:

1. Name of local official to whom campaign contribution was made:

2. The dollar amount and description of each campaign contribution made by the opponent to the local government official during the two years immediately preceding the filing of the application for the rezoning action and the date of each such contribution.

Amount \$

0

Date:

Enumeration and description of each gift when the total value of all gifts is \$250.00 or more made to the local government official during the 2 years immediately preceding the filing application for rezoning:



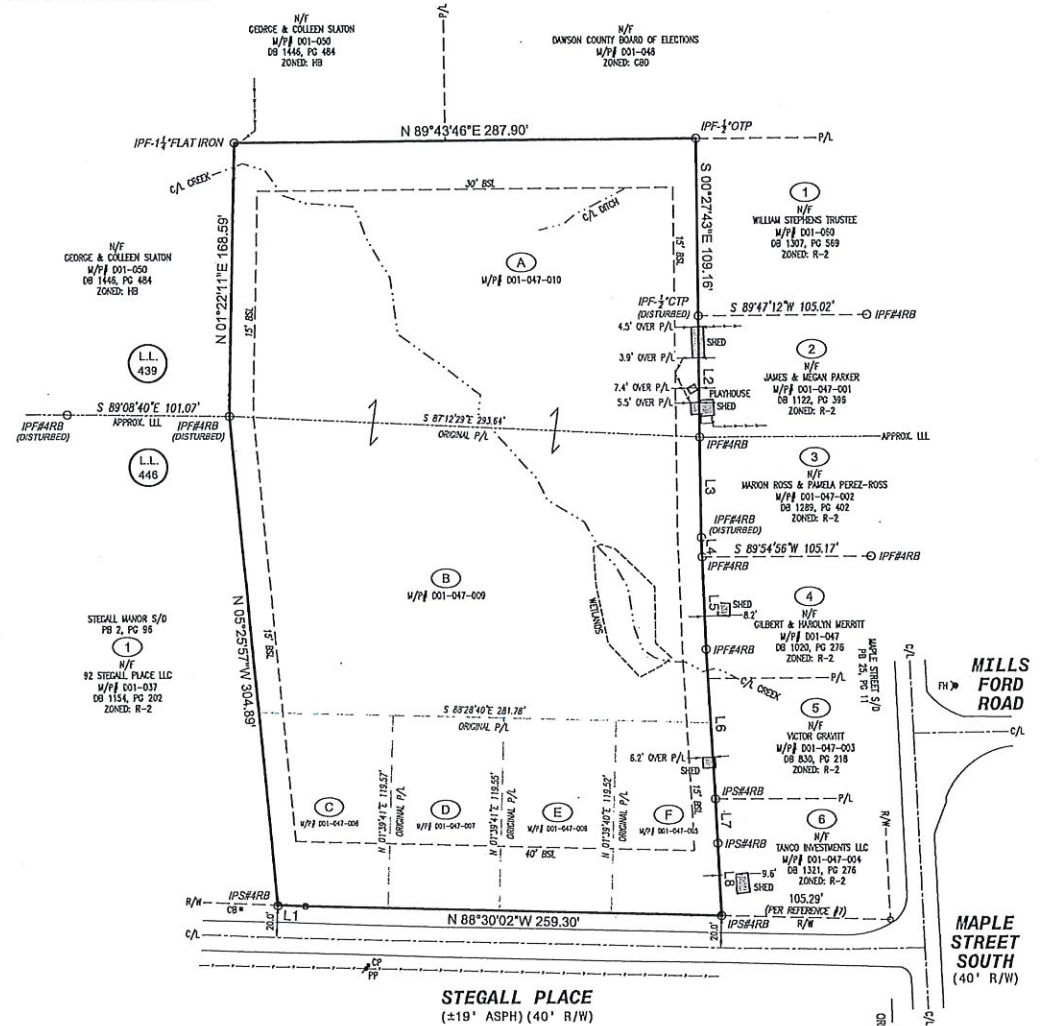
Signature of Applicant / Representative of Applicant

7-22-25

Date

Failure to complete this form is a statement that no disclosure is required.

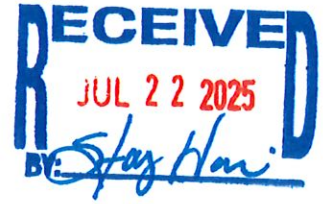
THIS BLOCK RESERVED FOR THE CLERK OF SUPERIOR COURT



- LEGEND**
- BFL = BASE FLOOD ELEVATION
 - BL = BUILDING SETBACK LINE
 - P/L = PROPERTY LINE
 - R/W = RIGHT OF WAY
 - L/L = LAND LOT
 - L/L = LAND LOT LINE
 - N/T = NOW OR FORMERLY
 - N/T = N/T WAY / PARCEL NO.
 - POS = POINT OF BEGINNING
 - W/T = WAY TO SCALE
 - PF = BORN PM FOUND
 - PS = BORN PM FOUND
 - CON MON = CONCRETE MONUMENT
 - REAR = REAR
 - CTP = CRAP TOP PIPE
 - OTF = OPEN TOP PIPE
 - SQL = SQUARE FOOT
 - AE = ANGLE FROM FOUND
 - CMP = CORRUGATED METAL PIPE
 - ICP = INTERLOCKED CONCRETE PIPE
 - WM = WATER METER
 - WY = WATER WAY
 - PP = POWER POLE
 - LP = LIGHT POLE
 - SP = SERVICE POLE
 - CB = COMMUNICATIONS BOX
 - CP = COMMUNICATIONS POST
 - AC = HALL LANE/ROAD
 - TR = TRANSFORMER
 - SE = SEWER SEWER-OUT
 - SS = SEPTIC TANK
 - SS = SANITARY SINK
 - MI = MAIN HOLE
 - FTE = FIBER OPTIC CABLE
 - FI = FIRE HYDRANT
 - GL = GAS LINE
 - PO = POWER LINE
 - SS = SANITARY SINK LINE
 - FM = FIBER OPTIC MAIN
 - WY = WATER LINE
 - FL = FENCE LINE

THIS SURVEY AND ITS FINDINGS DOES NOT CONSTITUTE A TITLE SEARCH OR TITLE OPINION BY MCCLURE SURVEYING, INC. AS LAND SURVEYORS. ALL DATA USED FOR THE LOCATION OF PROPERTY LINES, EASEMENTS, ADJOINING OWNERS, ETC. WAS OBTAINED FROM PUBLIC RECORDS, THE CLIENT, OR OTHER SOURCES AS REFERENCED. NO ASSURANCE OF TITLE OR TITLE COVENANTS, NOR RESULTS OF TITLE SEARCHES WERE PROVIDED TO THE SURVEYOR, UNLESS OTHERWISE NOTED. OTHER DOCUMENTS OR SITUATIONS MAY EXIST THAT WOULD AFFECT THIS PROPERTY, AS WITH ANY LAND TRANSACTION, A TITLE SEARCH AND CERTIFICATE IS RECOMMENDED IN CONNECTION WITH THIS SURVEY, OR YOU MUST CONSULT A COMPETENT TITLE ATTORNEY.

THIS SURVEY WAS PREPARED IN CONFORMANCE WITH THE TECHNICAL STANDARDS OF PROFESSIONAL SURVEYING IN GEORGIA AS SET FORTH IN CHAPTER 160-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN GEORGIA PLAT ACT O.C.G.A. 15-6-87, AUTHORITY O.C.G.A. SECS 15-6-67, 15-6-68, 15-6-69, 15-6-70, 15-6-71, 15-6-72, 15-6-73, 15-6-74, 15-6-75, 15-6-76, 15-6-77, 15-6-78, 15-6-79, 15-6-80, 15-6-81, 15-6-82, 15-6-83, 15-6-84, 15-6-85, 15-6-86, 15-6-87, 15-6-88, 15-6-89, 15-6-90, 15-6-91, 15-6-92, 15-6-93, 15-6-94, 15-6-95, 15-6-96, 15-6-97, 15-6-98, 15-6-99, 15-6-100, 15-6-101, 15-6-102, 15-6-103, 15-6-104, 15-6-105, 15-6-106, 15-6-107, 15-6-108, 15-6-109, 15-6-110, 15-6-111, 15-6-112, 15-6-113, 15-6-114, 15-6-115, 15-6-116, 15-6-117, 15-6-118, 15-6-119, 15-6-120, 15-6-121, 15-6-122, 15-6-123, 15-6-124, 15-6-125, 15-6-126, 15-6-127, 15-6-128, 15-6-129, 15-6-130, 15-6-131, 15-6-132, 15-6-133, 15-6-134, 15-6-135, 15-6-136, 15-6-137, 15-6-138, 15-6-139, 15-6-140, 15-6-141, 15-6-142, 15-6-143, 15-6-144, 15-6-145, 15-6-146, 15-6-147, 15-6-148, 15-6-149, 15-6-150, 15-6-151, 15-6-152, 15-6-153, 15-6-154, 15-6-155, 15-6-156, 15-6-157, 15-6-158, 15-6-159, 15-6-160, 15-6-161, 15-6-162, 15-6-163, 15-6-164, 15-6-165, 15-6-166, 15-6-167, 15-6-168, 15-6-169, 15-6-170, 15-6-171, 15-6-172, 15-6-173, 15-6-174, 15-6-175, 15-6-176, 15-6-177, 15-6-178, 15-6-179, 15-6-180, 15-6-181, 15-6-182, 15-6-183, 15-6-184, 15-6-185, 15-6-186, 15-6-187, 15-6-188, 15-6-189, 15-6-190, 15-6-191, 15-6-192, 15-6-193, 15-6-194, 15-6-195, 15-6-196, 15-6-197, 15-6-198, 15-6-199, 15-6-200, 15-6-201, 15-6-202, 15-6-203, 15-6-204, 15-6-205, 15-6-206, 15-6-207, 15-6-208, 15-6-209, 15-6-210, 15-6-211, 15-6-212, 15-6-213, 15-6-214, 15-6-215, 15-6-216, 15-6-217, 15-6-218, 15-6-219, 15-6-220, 15-6-221, 15-6-222, 15-6-223, 15-6-224, 15-6-225, 15-6-226, 15-6-227, 15-6-228, 15-6-229, 15-6-230, 15-6-231, 15-6-232, 15-6-233, 15-6-234, 15-6-235, 15-6-236, 15-6-237, 15-6-238, 15-6-239, 15-6-240, 15-6-241, 15-6-242, 15-6-243, 15-6-244, 15-6-245, 15-6-246, 15-6-247, 15-6-248, 15-6-249, 15-6-250, 15-6-251, 15-6-252, 15-6-253, 15-6-254, 15-6-255, 15-6-256, 15-6-257, 15-6-258, 15-6-259, 15-6-260, 15-6-261, 15-6-262, 15-6-263, 15-6-264, 15-6-265, 15-6-266, 15-6-267, 15-6-268, 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15-6-769, 15-6-770, 15-6-771, 15-6-772, 15-6-773, 15-6-774, 15-6-775, 15-6-776, 15-6-777, 15-6-778, 15-6-779, 15-6-780, 15-6-781, 15-6-782, 15-6-783, 15-6-784, 15-6-785, 15-6-786, 15-6-787, 15-6-788, 15-6-789, 15-6-790, 15-6-791, 15-6-792, 15-6-793, 15-6-794, 15-6-795, 15-6-796, 15-6-797, 15-6-798, 15-6-799, 15-6-800, 15-6-801, 15-6-802, 15-6-803, 15-6-804, 15-6-805, 15-6-806, 15-6-807, 15-6-808, 15-6-809, 15-6-810, 15-6-811, 15-6-812, 15-6-813, 15-6-814, 15-6-815, 15-6-816, 15-6-817, 15-6-818, 15-6-819, 15-6-820, 15-6-821, 15-6-822, 15-6-823, 15-6-824, 15-6-825, 15-6-826, 15-6-827, 15-6-828, 15-6-829, 15-6-830, 15-6-831, 15-6-832, 15-6-833, 15-6-834, 15-6-835, 15-6-836, 15-6-837, 15-6-838, 15-6-839, 15-6-840, 15-6-841, 15-6-842, 15-6-843, 15-6-844, 15-6-845, 15-6-846, 15-6-847, 15-6-848, 15-6-849, 15-6-850, 15-6-851, 15-6-852, 15-6-853, 15-6-854, 15-6-855, 15-6-856, 15-6-857, 15-6-858, 15-6-859, 15-6-860, 15-6-861, 15-6-862, 15-6-863, 15-6-864, 15-6-865, 15-6-866, 15-6-867, 15-6-868, 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LETTER OF INTENT

Applicant	Spicer Group Inc. on behalf of Habitat for Humanity
Subject Property	3.128 total acres, consisting of Parcels D001 047 005-010 on Stegall Place
Current Zoning:	R-2
Proposed Zoning:	RCT (Residential Cottage)
Proposed Use:	Develop a cottage community with 12 individual cottages, a Community Center, common area and other amenities.
Application:	Rezone to RCT to allow for a cottage community and make available housing attainable to the workforce in our community.
ROW Access:	Stegall Place

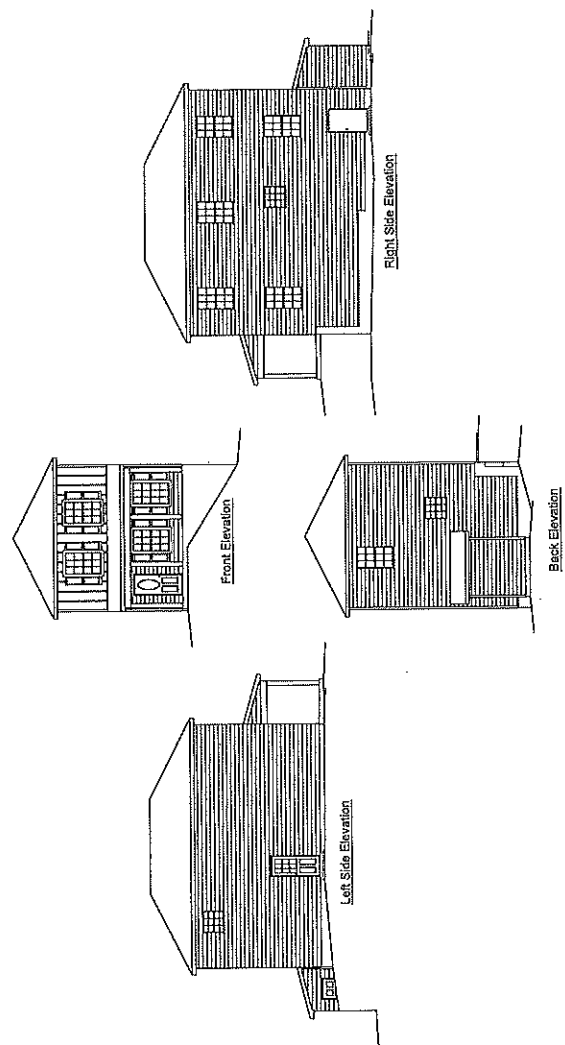
PROPOSED USE

The applicant proposes to rezone the existing zoning of RA to RCT for Parcels D001 047 005-010. There is an extreme need for housing in general, but especially housing that is attainable for those working hard to serve our community, whether that be first responders, healthcare professionals, teachers and others who are struggling to find quality housing they can afford on their salaries. Habitat for Humanity vets all applicants and supports them in the journey towards home ownership. By proposing a small, innovative, cottage community with a community center, common areas and other amenities, while connecting directly to the City's pedestrian friendly network, this proposed community plans to bring a sense of place and purpose to those who cannot find such an option in our growing community. With this rezoning request, the applicant would request additional variances:

1. RCT calls for a 50' Maintained undisturbed buffer, per city approval we would like to amend this to allow for a 40' Maintained exterior buffer. A 50' exterior buffer around the 3.128 ac property restricts more than half the property. A 40' buffer will still provide the intended effect of providing a natural screen from adjoining properties, while also providing for a more significant common area central to this proposed community.
2. RCT states that individual houses may not exceed 1000 sq/ft. We respectfully request the City to allow for a maximum 1,350 sq/ft homes, which will provide 3-bedroom options for families.

Cover Page		January 1, 2025		House Model: 2-Story, 3 Bedroom Kitchen Left, Shotgun on Crawlspace	The Licensed Builder & Construction Manager are responsible for ensuring that these plans and the house built from them comply with the current mandatory and permissive state codes and local amendments as specified in The Uniform Codes Act of Georgia. No changes may be made to these plans without the approval of the Licensed Builder.	 Habitat for Humanity-NCG 814 Mimosa Blvd, Building C Roswell, GA 30075 Construction Manager: David Dease Phone: 706.612.2417 Email: ddease@habitatncg.org
6220 Sammy Drive Gainesville, GA 30506		Not to Scale				

<u>Title</u>	<u>Page</u>	<u>Current Version</u>
Cover Page		January 1, 2025
Foundation Walls Plan	Page 1	January 1, 2025
Porch-Shed Slabs Plan	Page 2	January 1, 2025
J-Bolts Plan	Page 3	January 1, 2025
1st Floor Plan	Page 4	January 1, 2025
2nd Floor Plan	Page 5	January 1, 2025
1st FL Walls Plan	Page 6	January 1, 2025
2nd FL Walls Plan	Page 7	January 1, 2025
Elevations Plan	Page 8	January 1, 2025
Components Plan	Page 9	January 1, 2025
Details Plan	Page 10	January 1, 2025

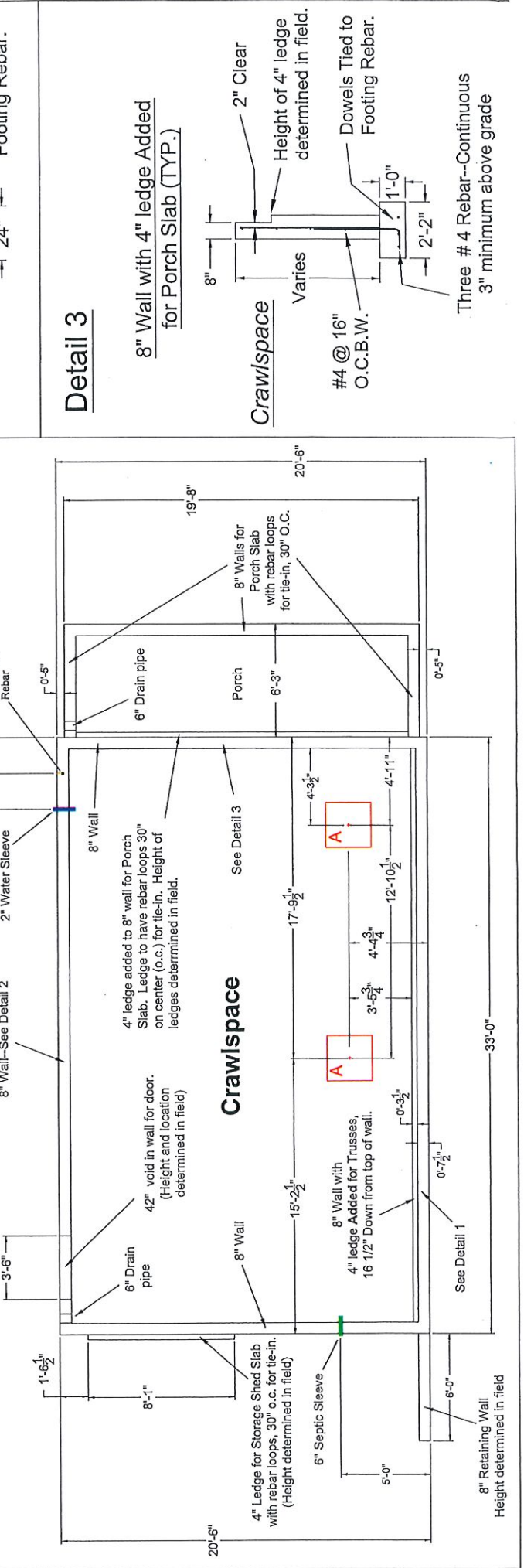
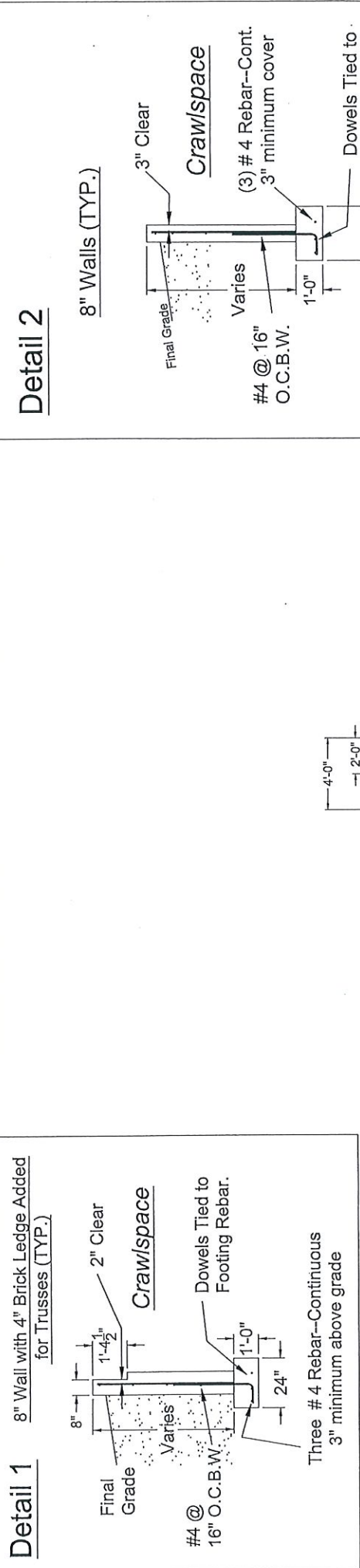


Left Side Elevation

Front Elevation

Right Side Elevation

Back Elevation



6220 Sammy Drive
Gainesville, GA 30506

January 1, 2025

SCALE: 3/8" = 1'-0"

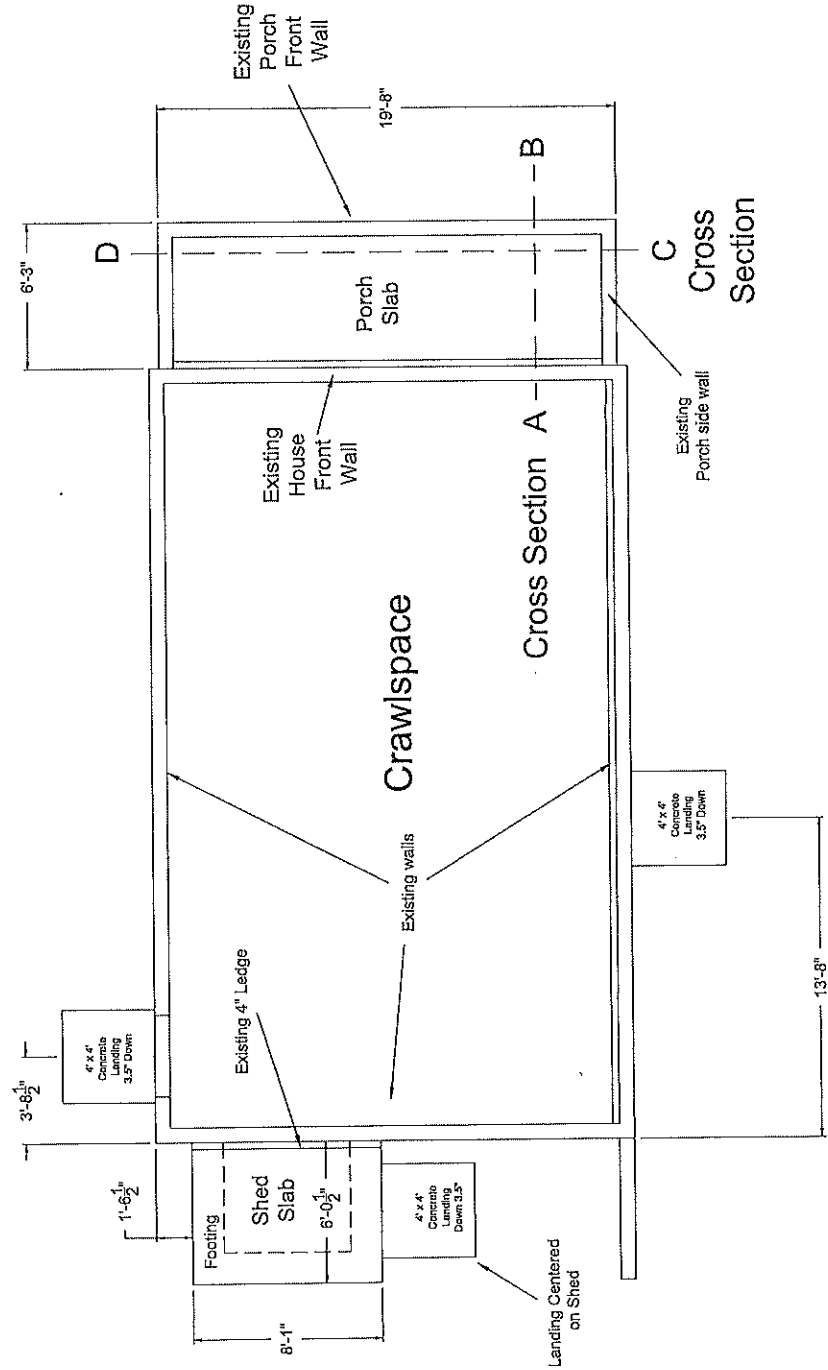
General Notes:

1. Concrete shall be constructed in accordance with section R403 of 2012 IRC.
2. Concrete shall have a minimum 28-day compressive strength of 3,000 PSI.
4. Lap reinforcing a minimum of 15".
5. Habitat will supply anchor bolts for Shed.

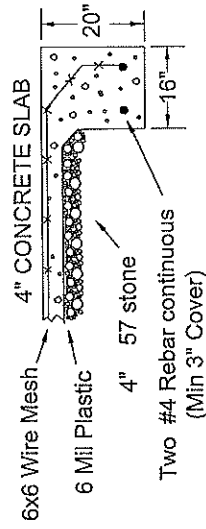
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Habitat for Humanity-NOG
814 Mimosa Blvd, Building C
Roswell GA 30075
Construction Manager: David Deese
Phone: 706.612.2417
Email: ddeese@habitat-nog.org

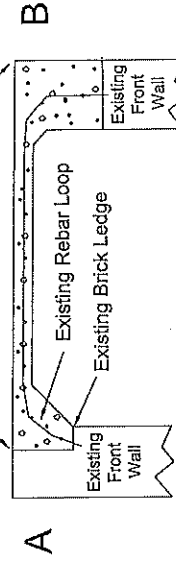


Detail for Shed Slab



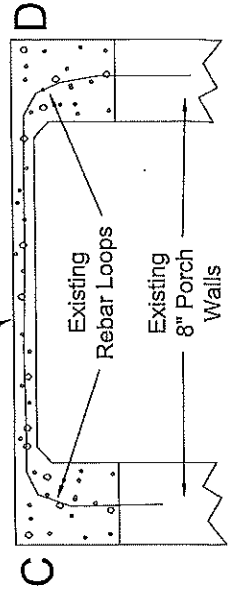
Cross Section A to B
Porch Slab Side View

4" CONCRETE SLAB
Starts level with this Front Wall then
slopes down 1" at front of porch



Cross Section C to D
Porch Slab Front View

4" CONCRETE Wrap Down SLAB



The Licensed Builder & Construction Manager are responsible for ensuring that these plans and the house built from them comply with the current mandatory and permissive state codes and local amendments as specified in The Uniform Codes Act of Georgia. No changes may be made to these plans without the approval of the Licensed Builder.

January 1, 2025	SCALE: No Scale
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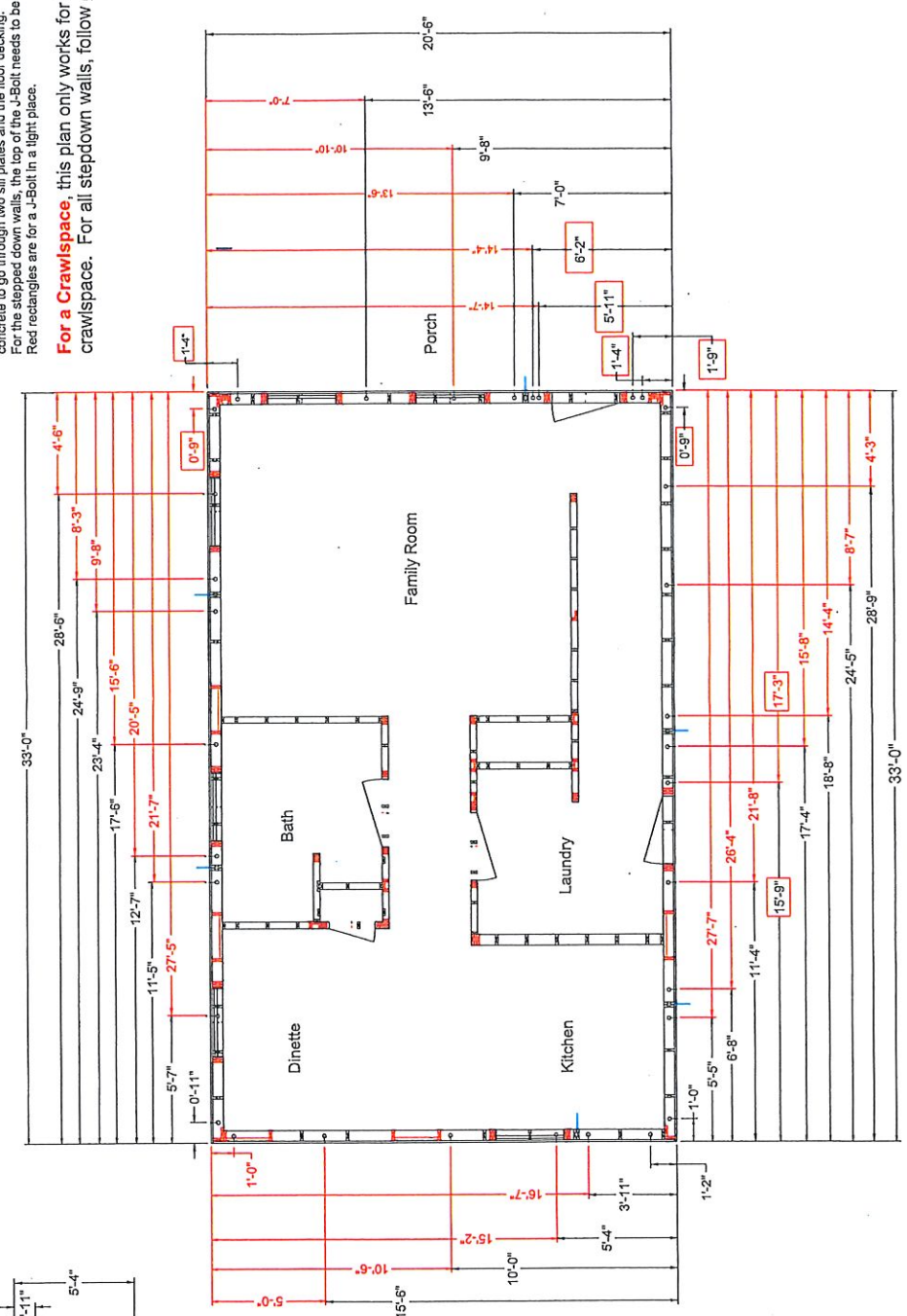
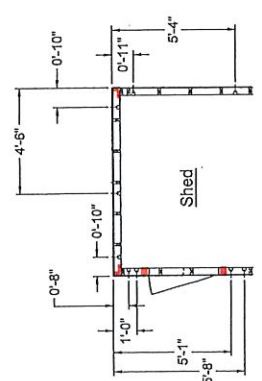
J-Bolts Plan (Page 3)

6220 Sammy Drive
Gainesville, GA 30506

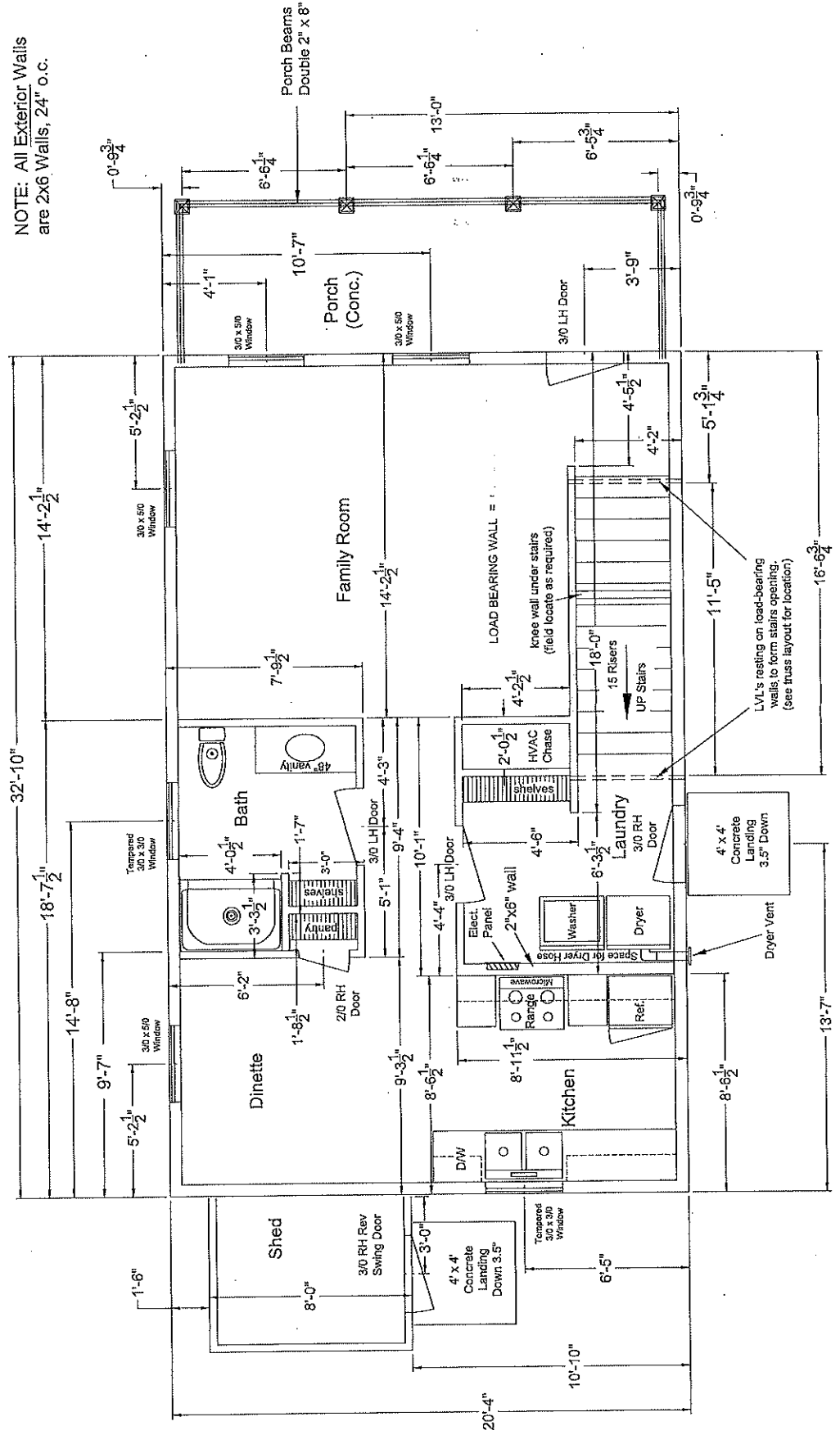
Notes for J-Bolts:

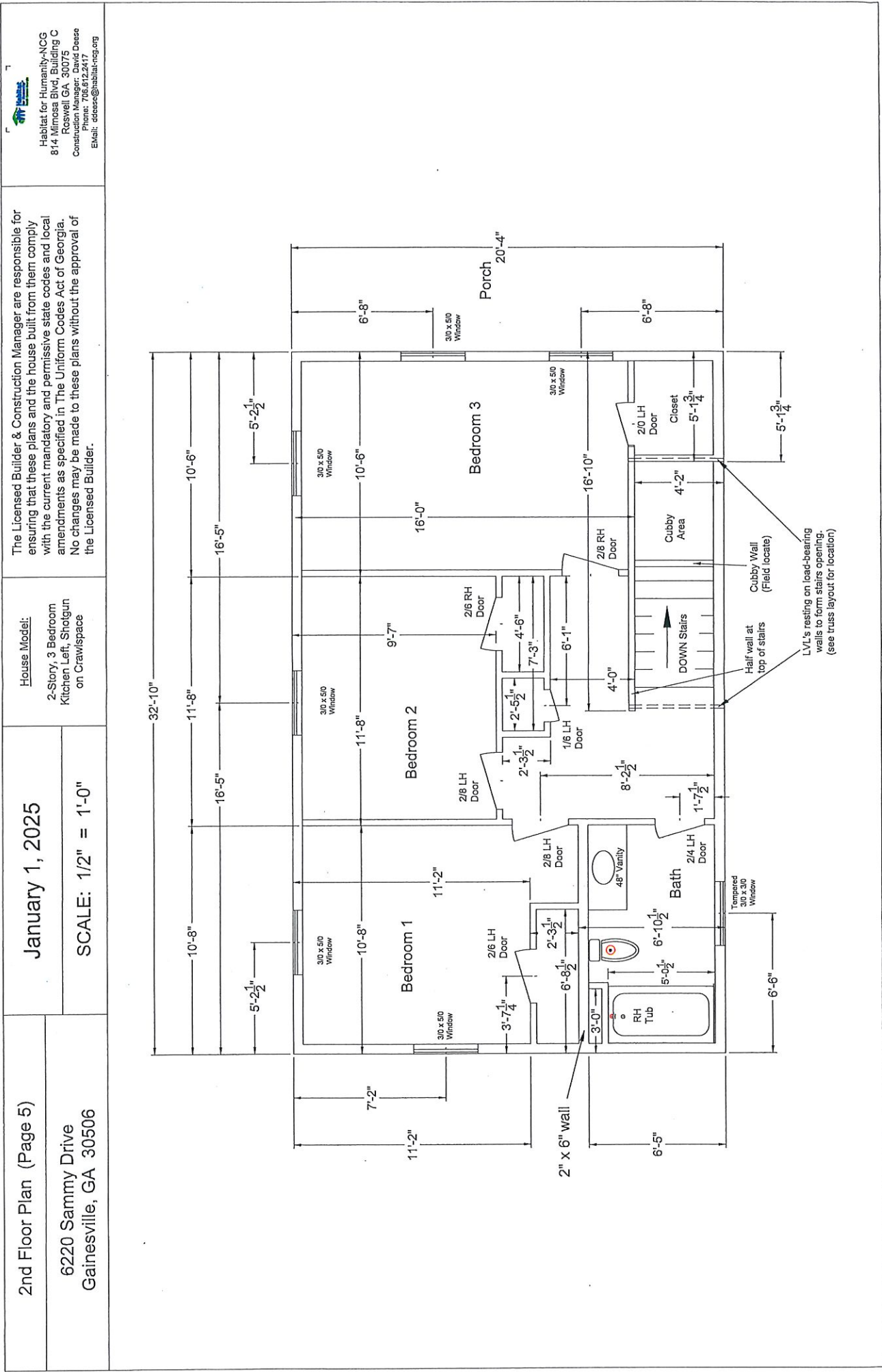
For all: Imbed bolt 7" min. Within 1 ft of end of boards, 6 ft apart max; two J-Bolts per board minimum (See exception).
Bolts to be 1 3/16" minimum away from both edges of the board.
Center bolts on the Sill plate, 275" from edge of board for 2x4 sill and 375" for 2x6 sill (assumes a 12" gap being used).
For the ground framing of the Top of Job: Bolt needs to be about 4.5 to 5" above the plate to give the framing of two sill plates and the floor decking.
For the stepped down walls, the top of the J-Bolt needs to be 2.25 to 2.5" above the concrete.
Red rectangles are for a J-Bolt in a light place.


For a Crawlspace, this plan only works for the highest walls in the crawlspace. For all stepped walls, follow general notes above.



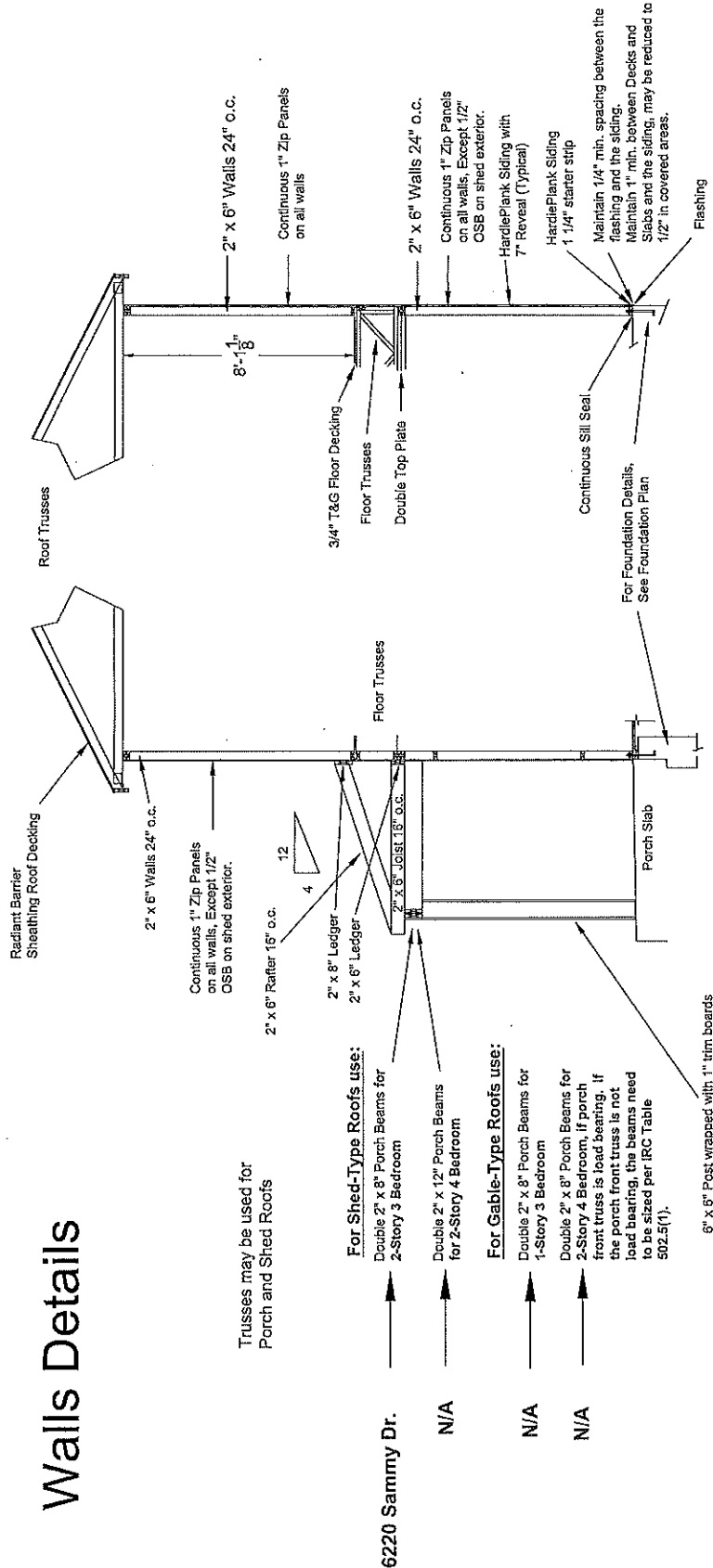
SCALE: 1/2" = 1'-0"





<div> <div>Details Plan (Page 10)</div> <div> 6220 Sammy Drive Gainesville, GA 30506 </div> </div>	<div> <div>January 1, 2025</div> <div>Not to Scale</div> </div>	<div>House Model:</div> <div>2-Story, 3 Bedroom Kitchen Left, Shotgun on Crawlspace</div>	<div> The Licensed Builder & Construction Manager are responsible for ensuring that these plans and the house built from them comply with the current mandatory and permissive state codes and local amendments as specified in The Uniform Codes Act of Georgia. No changes may be made to these plans without the approval of the Licensed Builder. </div>	<div>  <div> Habitat for Humanity-NCG 814 Mimosa Blvd. Building C Roswell GA 30075 Construction Manager: David Deese Phone: 770.65122417 Email: ddeese@habitat-ncg.org </div> </div>
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Walls Details



- NOTES:
- 1) Install Hardie Siding and Trim in accordance with:
Hardie Plank Lap Siding-HZ10 April 2018 Install Guide or latest install guide.
Hardie Trim Boards-HZ10 April 2018 Install Guide or latest install guide.
 - 2) Trusses by North GA Truss or other truss company.
 - 3) Headers for all Windows and "load bearing" Doors that are 3'-0" or less are Double 2 x 6's.
 - 4) All Exterior Headers have foam board between Double 2X Boards.
 - 5) Crawl Spaces (for a 2-story house) to be framed with 2x6" Lumber, 16" o.c. (the crawlspace is the third floor).

January 1, 2025

SCALE: 3/8" = 1'-0"

House Model:

2-Story, 3 Bedroom
Kitchen Left, Shotgun
on Crawlspace

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HABITAT FOR HUMANITY
Habitat for Humanity-NGC
814 Minors Blvd, Building C
Roswell, GA 30075
Construction Manager, David Dease
Phone: 770.612.2417
Email: ddease@habitatngc.org

NOTES:

Exterior walls are spaced 24" o.c.

For Thru Walls: The first edge of the first stud should be 22 1/4" from the start of the wall. 24" o.c. thereafter.

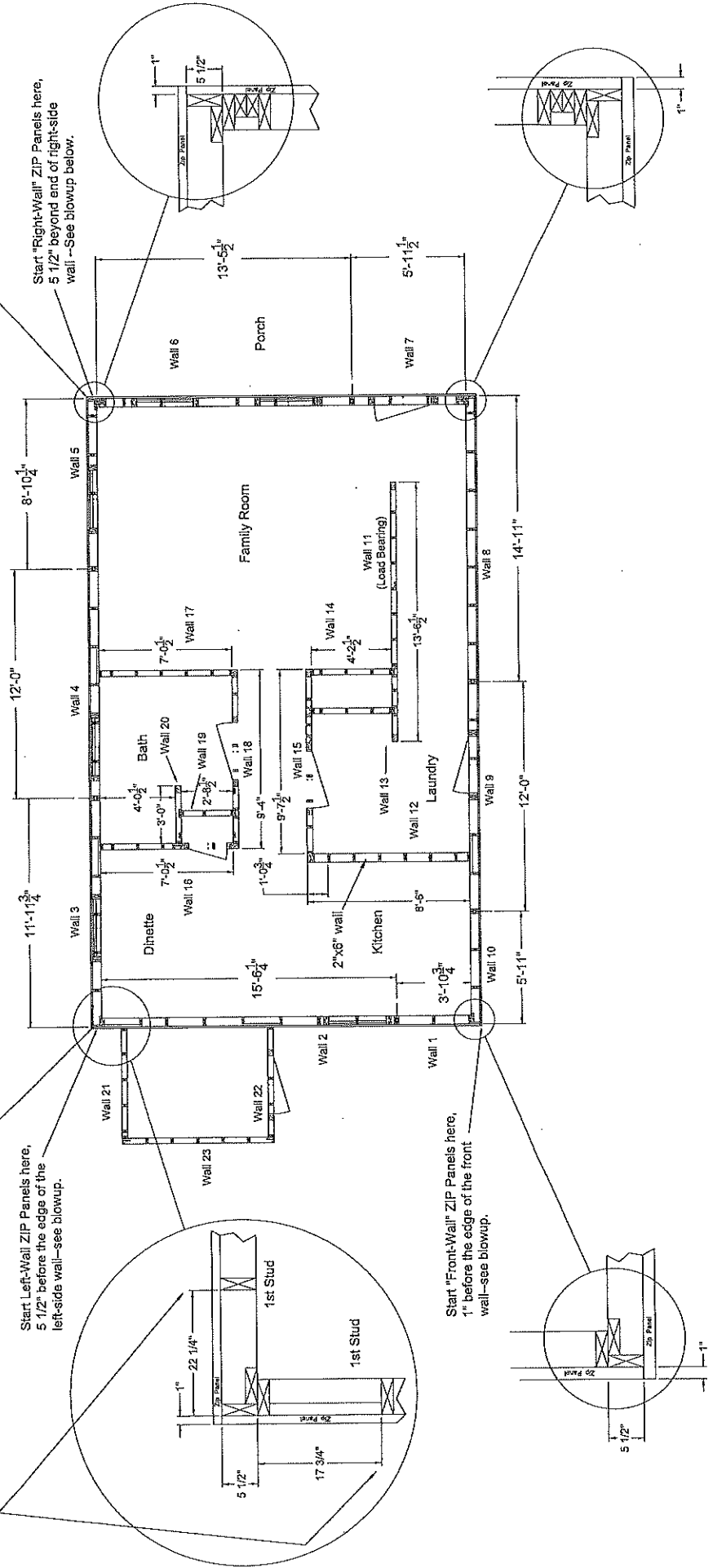
For Butt Walls: The first edge of the first stud should be 17 3/4" from the start of the wall. 24" o.c. thereafter.

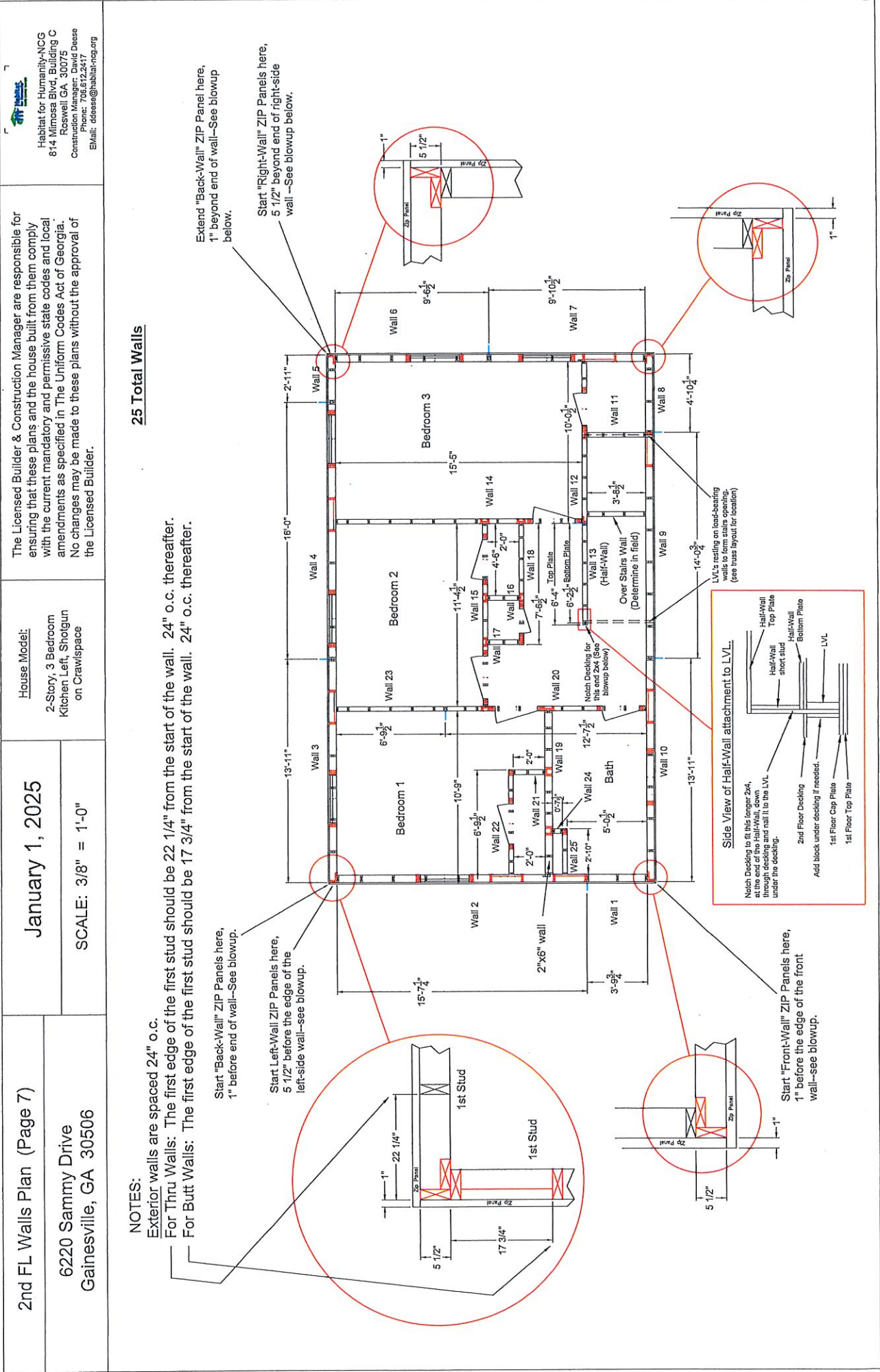
Start "Back-Wall" ZIP Panels here,
1" beyond end of wall—See blowup.


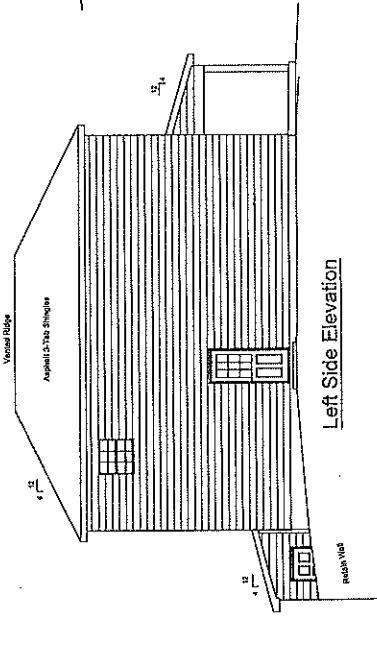
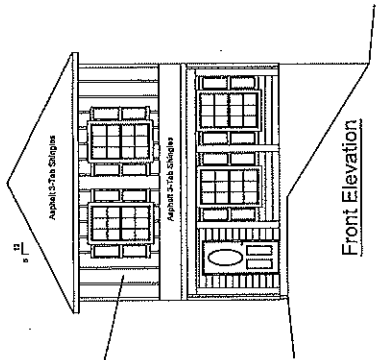
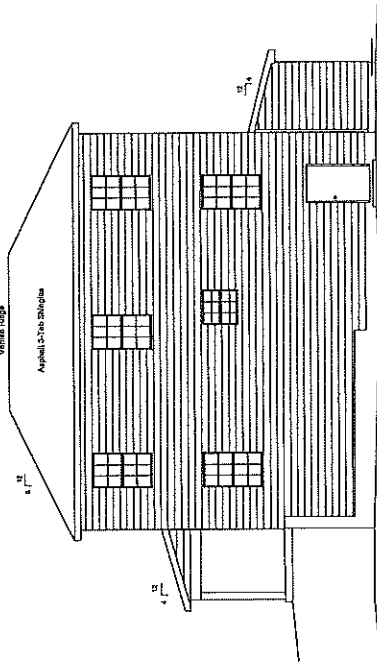
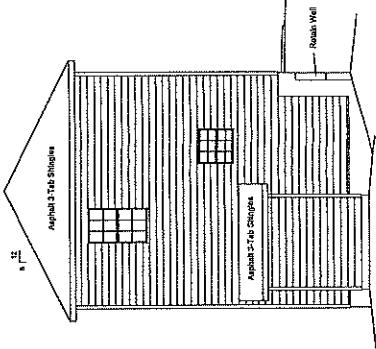
Start Left-Wall ZIP Panels here,
5 1/2" before the edge of the
left-side wall—see blowup.

Start "Front-Wall" ZIP Panels here,
1" before the edge of the front
wall—see blowup.

23 Total Walls





<div>Elevations Plan (Page 8)</div> <div>6220 Sammy Drive Gainesville, GA 30506</div>	<div>January 1, 2025</div> <div>SCALE: 1/4" = 1'-0"</div>	<div>House Model:</div> <div>2-Story, 3 Bedroom Kitchen Left, Shotgun on Crawlspace</div>	<div> <div>  <div> Habitat for Humanity-NCG 814 Mimosa Blvd. Building C Roswell GA 30075 Construction Manager: David Deesa Phone: 770.572.2417 Email: ddesa@habitatncg.org </div> </div> <div> The Licensed Builder & Construction Manager are responsible for ensuring that these plans and the house built from them comply with the current mandatory and permissive state codes and local amendments as specified in The Uniform Codes Act of Georgia. No changes may be made to these plans without the approval of the Licensed Builder. </div> </div>	<div> <div> <div>  <div>Left Side Elevation</div> </div> <div>  <div>Front Elevation</div> </div> <div>  <div>Right Side Elevation</div> </div> <div>  <div>Back Elevation</div> </div> <div> <div>NOTE: HardiePlank Siding and Corner Boards.</div> <div>NOTE: HardiePlank Siding and Corner Boards.</div> </div> </div> </div>
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<p>Cover Page</p> <p>6260 Sammy Drive Gainesville, GA 30506</p>	<p>November 19, 2023</p>	<p>House Model: 2-Story, 3 Bedroom Kitchen Right on Slab</p>	<p>The Director of Construction is responsible for ensuring that these plans and the house built from them comply with the current mandatory and permissive state codes and local amendments as specified in The Uniform Codes Act of Georgia.</p>	<p>November 19, 2023</p>
<p>Cover Page</p>	<p>November 19, 2023</p>	<p>House Model: 2-Story, 3 Bedroom Kitchen Right on Slab</p>	<p>The Director of Construction is responsible for ensuring that these plans and the house built from them comply with the current mandatory and permissive state codes and local amendments as specified in The Uniform Codes Act of Georgia.</p>	<p>November 19, 2023</p>
<p>Cover Page</p>	<p>November 19, 2023</p>	<p>House Model: 2-Story, 3 Bedroom Kitchen Right on Slab</p>	<p>The Director of Construction is responsible for ensuring that these plans and the house built from them comply with the current mandatory and permissive state codes and local amendments as specified in The Uniform Codes Act of Georgia.</p>	<p>November 19, 2023</p>

6260 Sammy Drive
Gainesville, GA 30506

November 19, 2023

SCALE: 1/2" = 1'-0"



Habitat for Humanity-NCG
814 Mimosa Blvd, Building C
Roswell GA 30075
Construction Manager: Ellis Leslie
Phone: 770.298.1712
Email: elleslie@habitat-ncg.org

The Director of Construction is responsible for ensuring that these plans and the house built from them comply with the current mandatory and permissive state codes and local amendments as specified in The Uniform Codes Act of Georgia.

General Notes:

1. Concrete slab shall be constructed in accordance with Chapter 4 of 2012 IRC.
2. Concrete shall have a minimum 28-day compressive strength of 3,000 PSI.
3. Habitat will provide J-Bolts, Portal straps, and 57 Stone.

Side View

2 #4 Rebar

12"

15"

4" CONCRETE SLAB

20"

16"

6x6 Wire Mesh

6 Mill Plastic

57 stone

Two #4 Rebar continuous (Min 3" Cover)

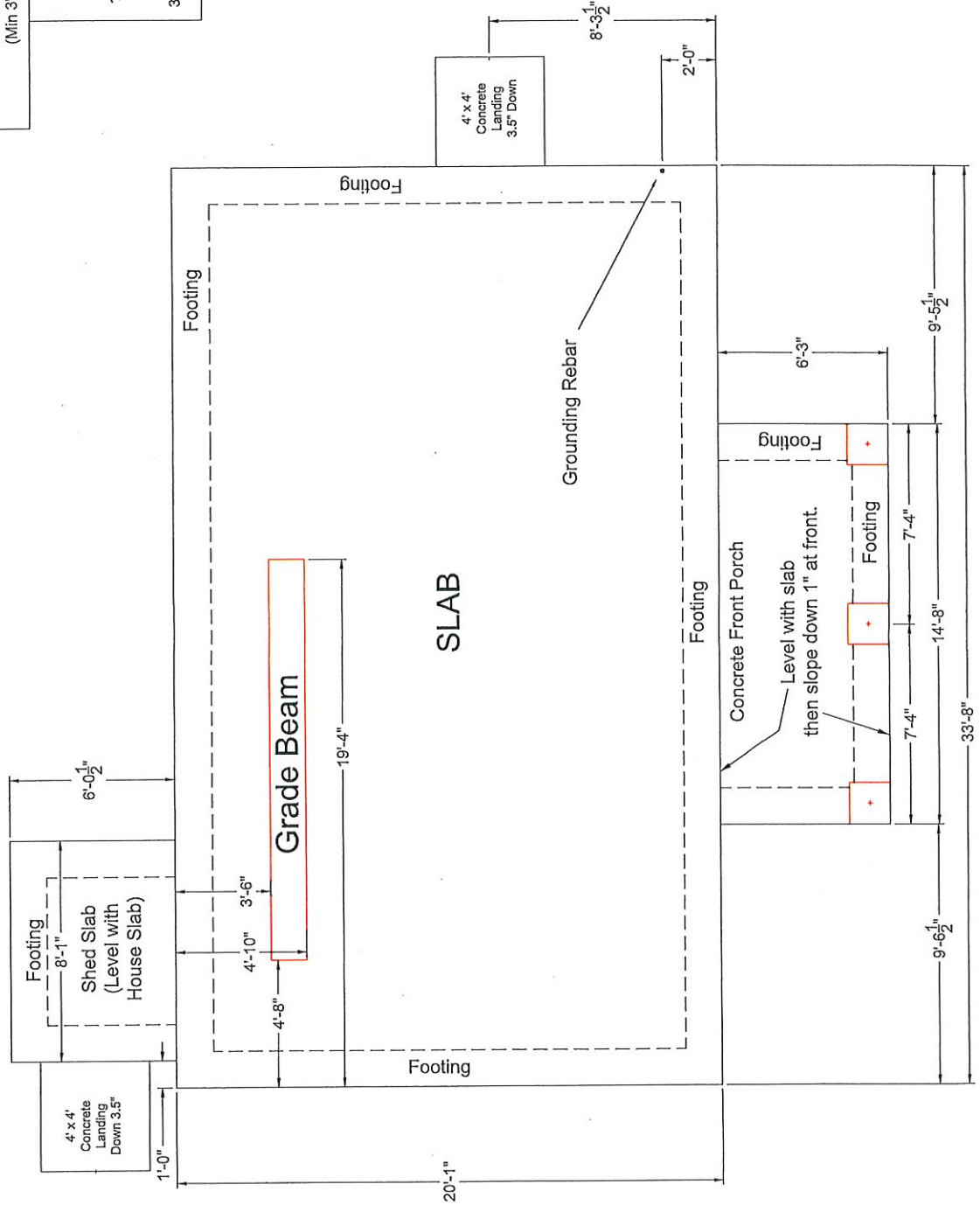
Top View

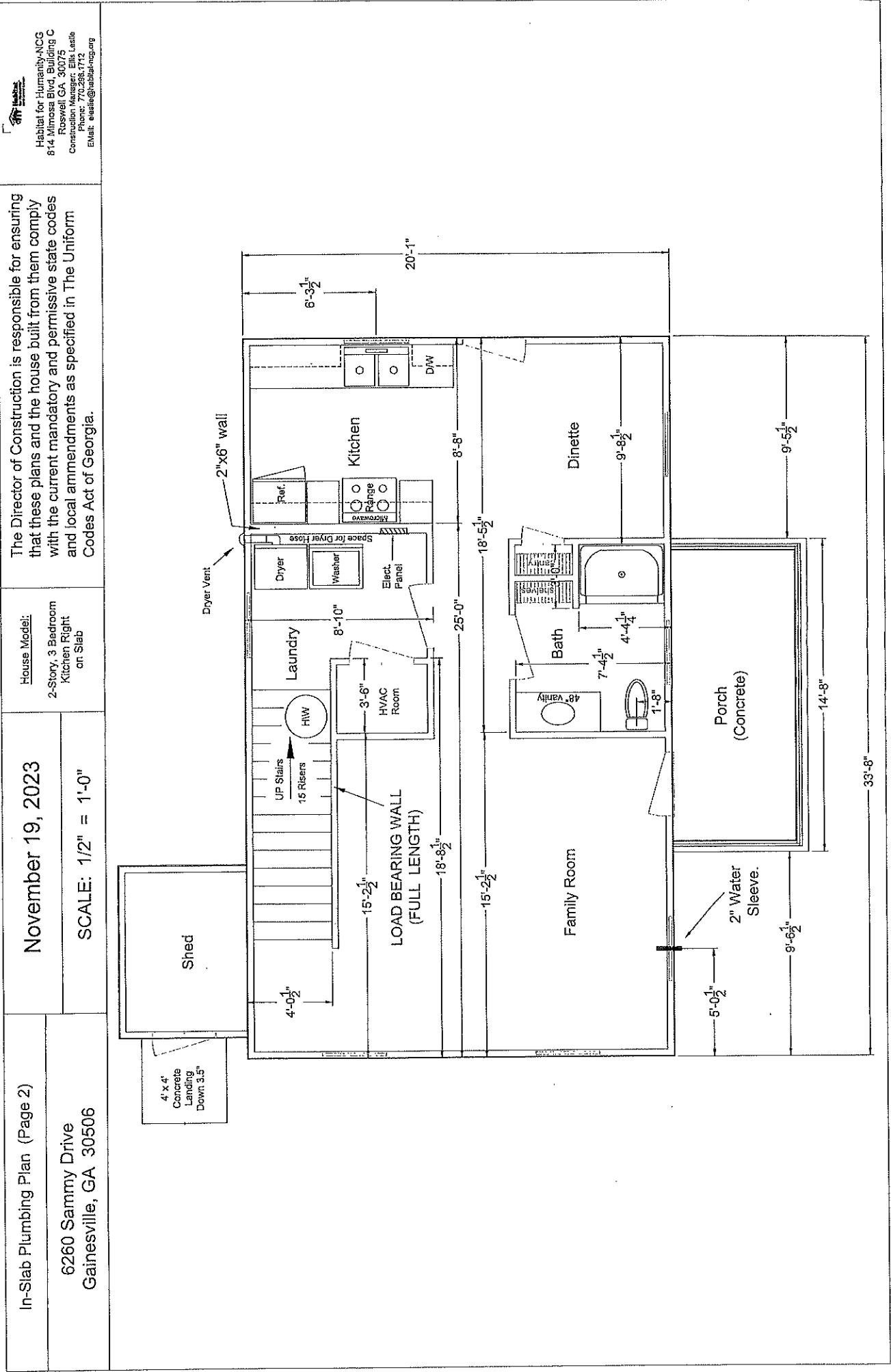
Side View

18"

12"

3 x 3 #4 Rebar





The Director of Construction is responsible for ensuring that these plans and the house built from them comply with the current mandatory and permissive state codes and local amendments as specified in The Uniform Codes Act of Georgia.

Notes for J-Boards:

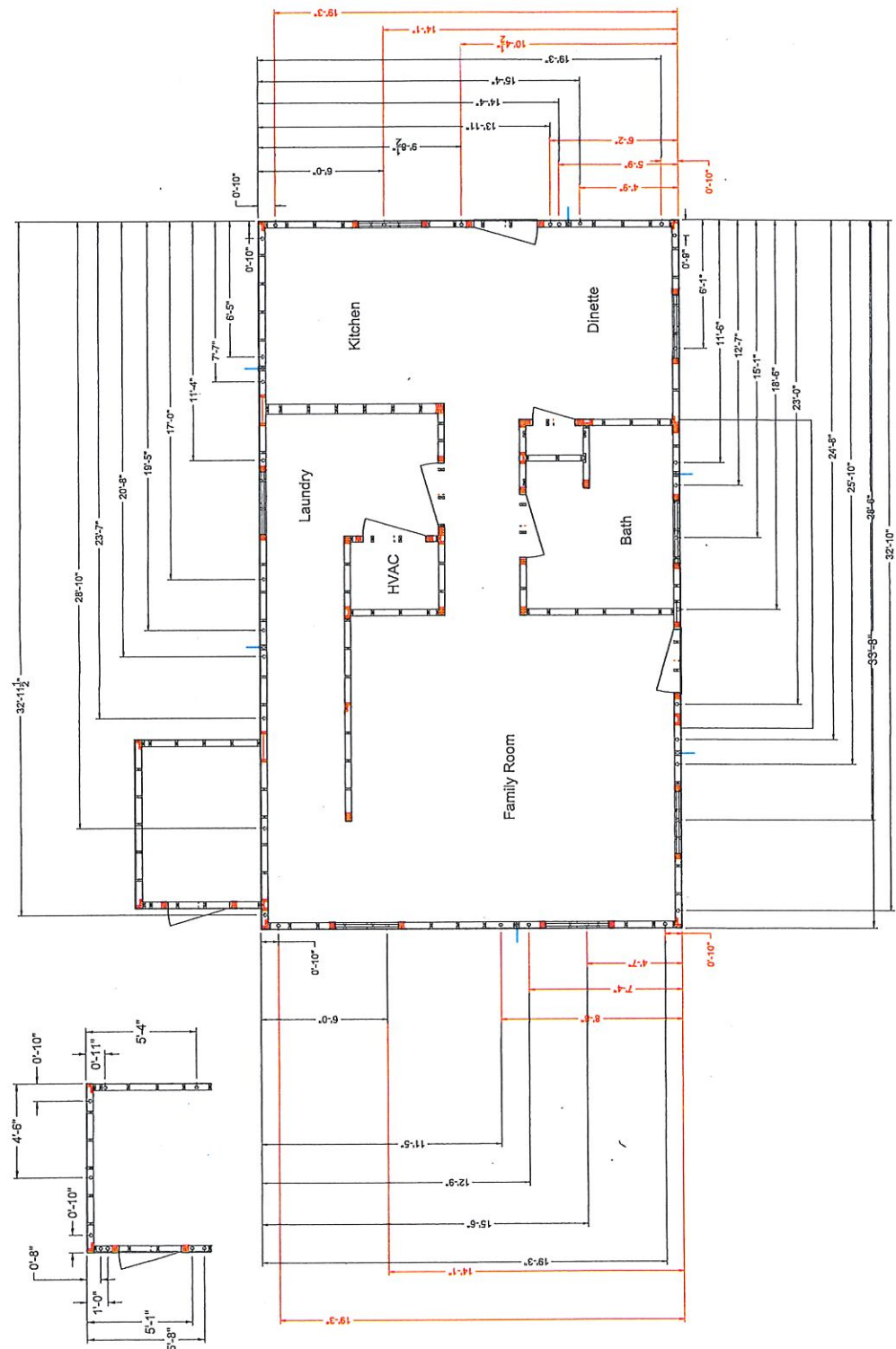
Imbed 7" min.
Within 1" of end of boards.
6" min. apart.
Scribe board minimum (see code book for exceptions).
Centered on 2x4 Belt center is 2.25" from edge of concrete.
Centered on 2x6 Belt center is 3.25" from edge of concrete.
Height: Ensure bolt threads will go low enough below top of sill to torque board down, but high enough to account for washer and nut. About 2.25 to 2.5" high for a 2x6 board.

November 19, 2023

J-Bolts Plan (Page 3)

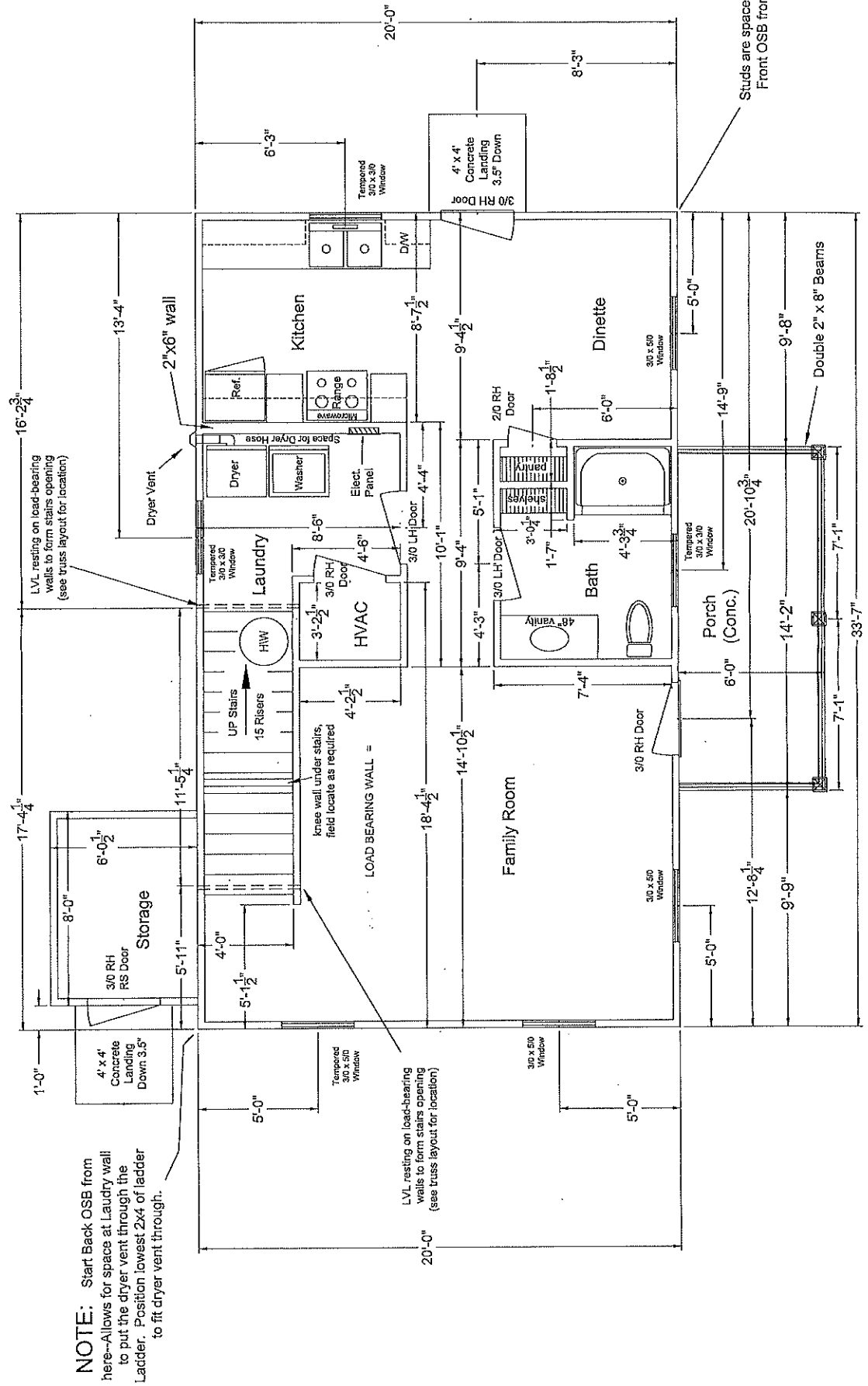
6260 Sammy Drive
Gainesville, GA 30506

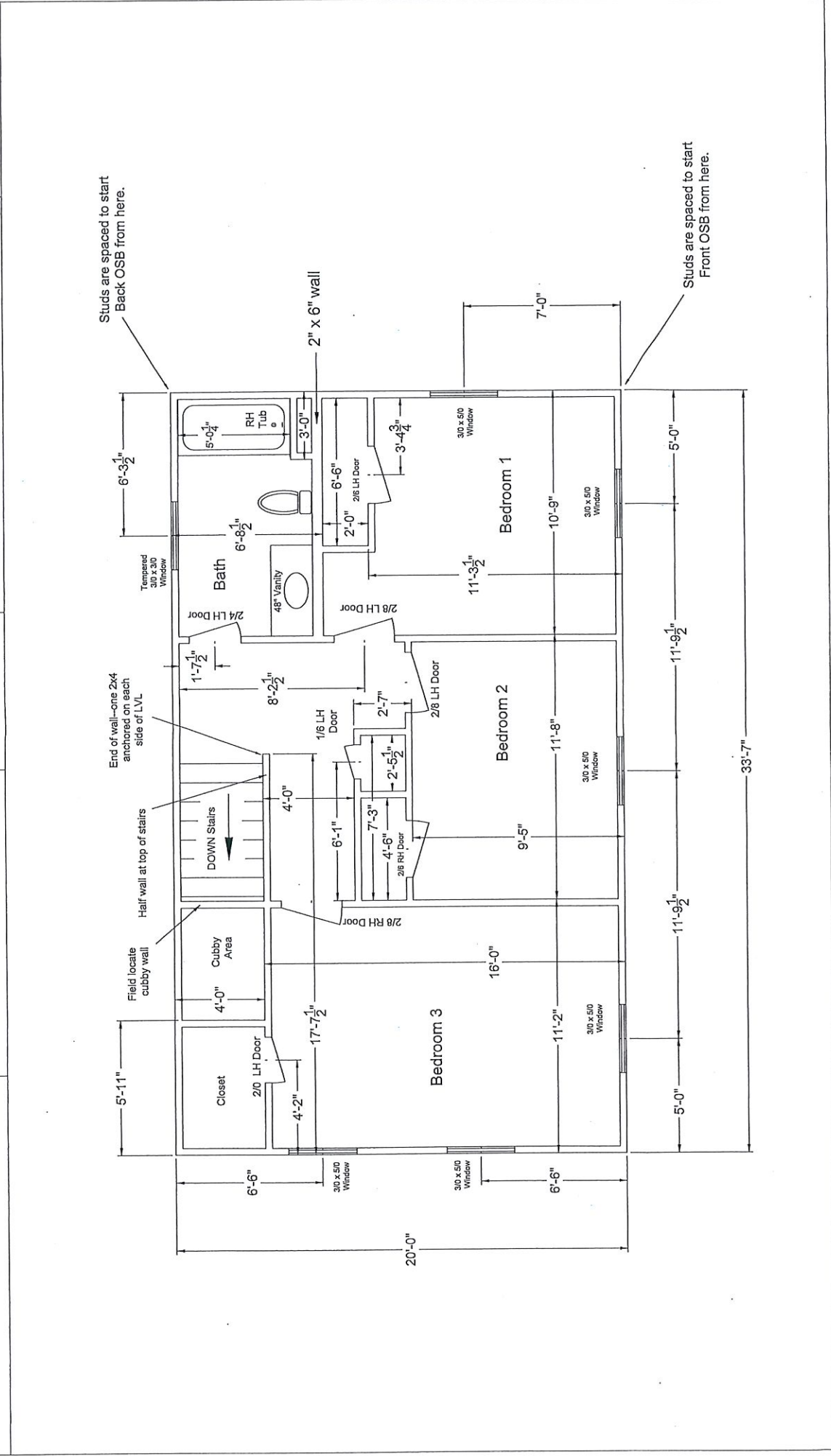
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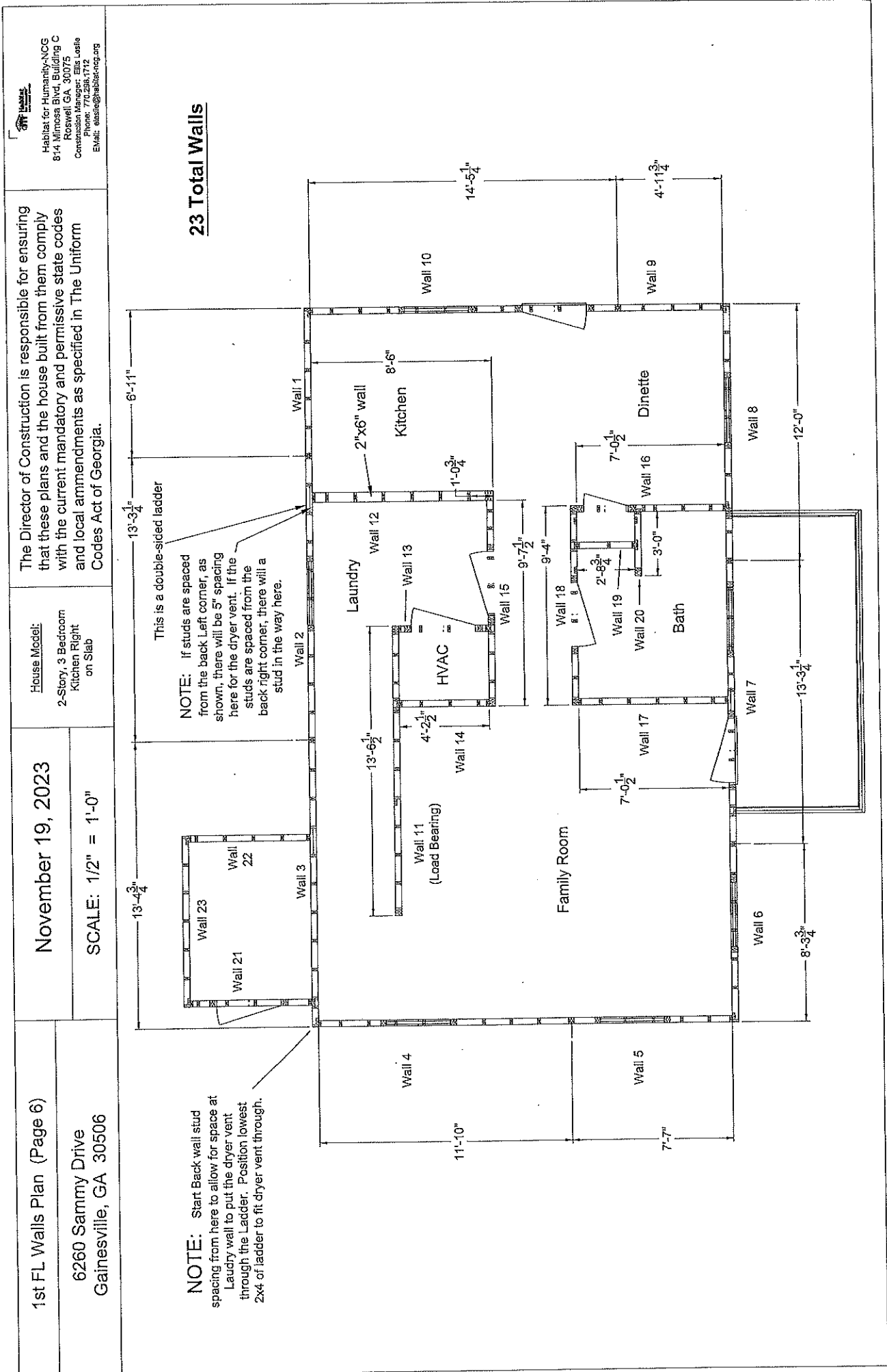


6260 Sammy Drive
Gainesville, GA 30506

SCALE: 1/2" = 1'-0"

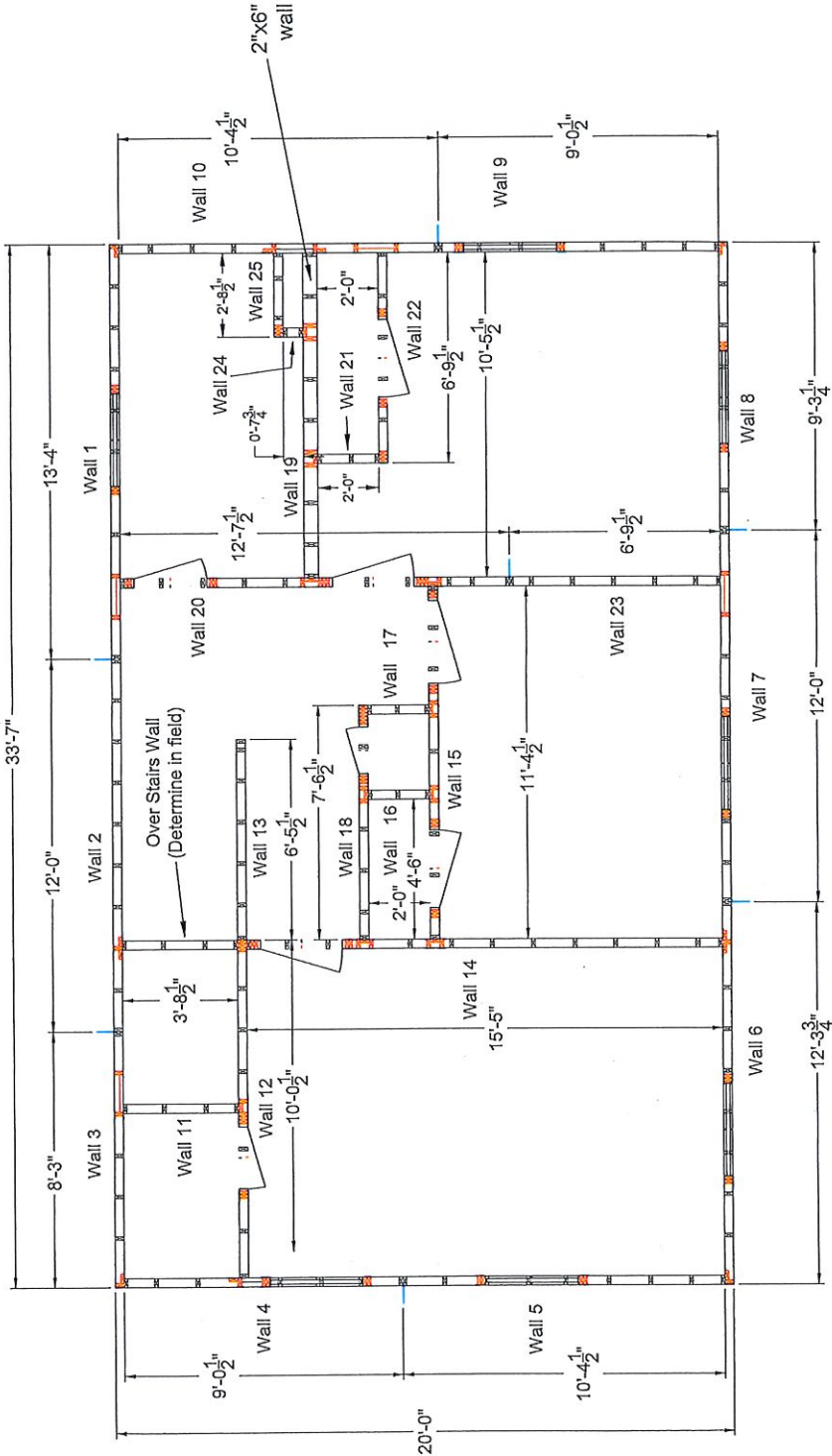



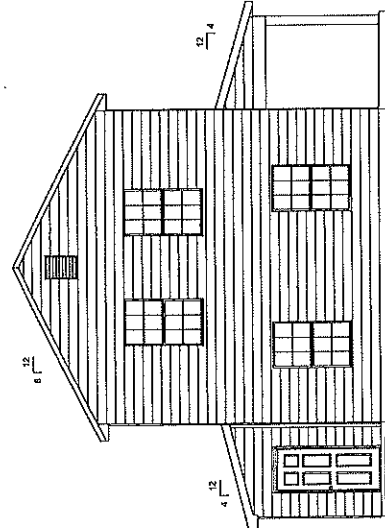
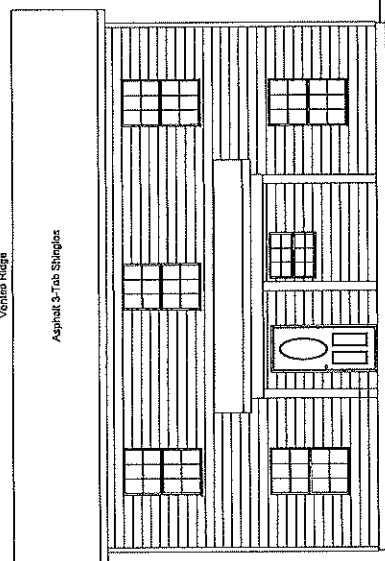
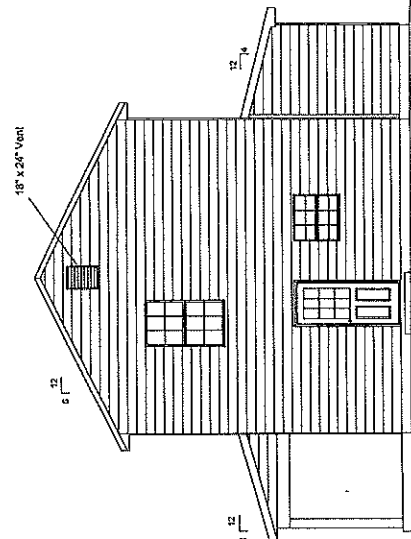
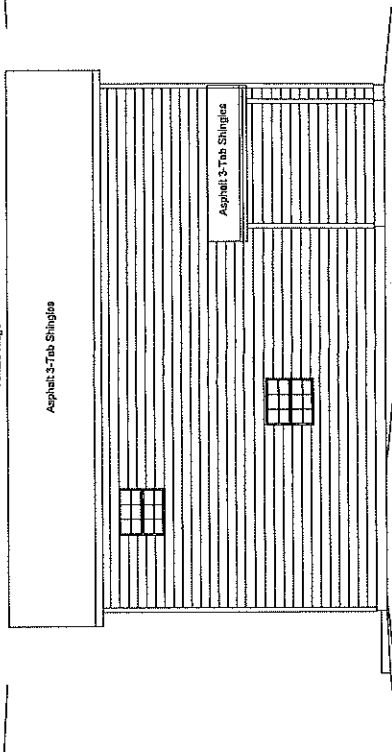




<div> <div>2nd FL Walls Plan (Page 7)</div> <div>6260 Sammy Drive Gainesville, GA 30506</div> </div>	<div> <div>November 19, 2023</div> <div>SCALE: 1/2" = 1'-0"</div> </div>	<div> <div>House Model:</div> <div>2-Story, 3 Bedroom Kitchen Right on Slab</div> </div>	<div> <div>The Director of Construction is responsible for ensuring that these plans and the house built from them comply with the current mandatory and permissive state codes and local amendments as specified in The Uniform Codes Act of Georgia.</div> <div> <div> <div>Habitat for Humanity-NCG</div> <div>814 Mimosa Blvd. Building C</div> <div>Roswell GA 30075</div> <div>Construction Manager: Ellis Leslie</div> <div>Phone: 770.258.1712</div> <div>Email: elleslie@habitat-ncg.org</div> </div> </div> </div>
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25 Total Walls



Elevations Plan (Page 8)		November 19, 2023		House Model: 2-Story, 3 Bedroom Kitchen Right on Slab		The Director of Construction is responsible for ensuring that these plans and the house built from them comply with the current mandatory and permissive state codes and local amendments as specified in The Uniform Codes Act of Georgia.		<div> Habitat for Humanity-NCG 814 Mimosa Blvd, Building C Roswell, GA 30076 Construction Manager: Ellis Leida Phone: 770.298.1712 Email: ellis@habitat-ncg.org</div>	
6260 Sammy Drive Gainesville, GA 30506		SCALE: 1/4" = 1'-0"							
<div></div> <div>Left Elevation</div>		<div></div> <div>Front Elevation</div> <div>NOTE: HardiePlank Siding and Corner Boards on all</div>		<div></div> <div>Right Elevation</div>		<div></div> <div>Back Elevation</div>			

Components Plan (Page 9)

6260 Sammy Drive
Gainesville, GA 30506

November 19, 2023

Not to Scale

House Model:

2-Story, 3 Bedroom
Kitchen Right
on Slab

The Director of Construction is responsible for ensuring that these plans and the house built from them comply with the current mandatory and permissive state codes and local amendments as specified in The Uniform Codes Act of Georgia.

Habitat for Humanity-NGC
814 Mimosa Blvd, Building C
Roswell GA 30075
Construction Manager: Ellis Leslie
Phone: 770.286.1712
Email: elessie@habitatngc.org

Not to Scale (NTS)

Windows

3/0 x 5/0
Twin window

(0)

3/0 x 5/0
Twin window

78 3/4" long Header—Two 2" x 10"s
with 1/2" foam in between

83 1/2" long Header—Two 2" x 12"s
with 1/2" foam in between

Header size depends
on house (See Above)

Continuous Jack Studs:
N/A 2 per side for 2x10 Header
N/A 3 per side for 2x12 Header

3/0 x 5/0
Twin window

()

3/0 x 5/0
window

39 3/4" long Header—Two 2" x 6"s
with 1/2" foam in between

41" long Header—Two 2" x 6"s
with 1/2" foam in between

Same Height
for All Headers

Doors

3/0 Door
Load Bearing
Exterior and Interior

()

5/0 Door
Interior

65" long—2" x 4"
Ladder Header

37" long—2" x 4"
Ladder Header

35" long—2" x 4"
Ladder Header

33" long—2" x 4"
Ladder Header

29" long—2" x 4"
Ladder Header

23" long—2" x 4"
Ladder Header

3/0 Door
Interior

()

2/6 Door
Interior

2/4 Door
Interior

2/0 Door
Interior

1/6 Door
Interior

Measure and cut the small cripples at top, after header and jacks have been assembled and nailed together. This will ensure the tops of the cripples and king studs are flush

Measure and cut the small cripples at top, after header and jacks have been assembled and nailed together. This will ensure the tops of the cripples and king studs are flush

Corners

()

()

()

()

()

()

California corner

2" x 4" corner

2" x 6" corner

2" x 4" tee

2" x 4" tee with 6" blocking

2" x 6" tee with 4" blocking

Blowups

Top View

Side View

92 5/8"

7'-8 5/8"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

Ts (Interior Walls)

()

()

()

()

()

()

2" x 4" tee

2" x 4" tee with 6" blocking

2" x 6" tee with 4" blocking

2" x 6" tee with 4" blocking

Blowups

Top View

Side View

92 5/8"

7'-8 5/8"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

Ladder Ts

(Ext. Walls)

()

()

()

()

()

()

Standard 2" x 4" ladder tee

2" x 4" Beam Pocket

2" x 4" Beam Pocket

2" x 4" Beam Pocket

2" x 4" Beam Pocket

2" x 4" Beam Pocket

2" x 4" Beam Pocket

2" x 4" Beam Pocket

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
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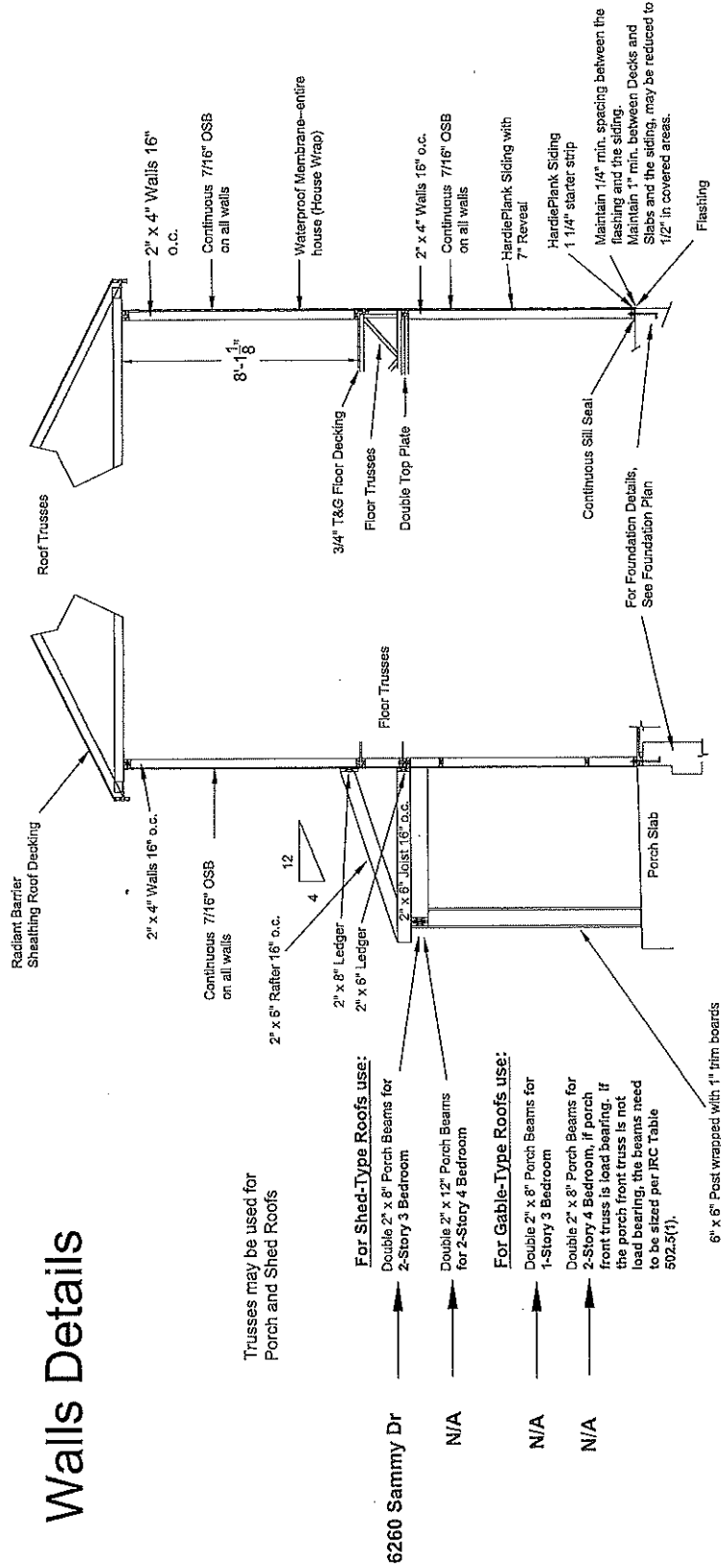
2" x 4" Beam Pocket

2" x 4" Beam Pocket

2" x 4" Beam

Details Plan (Page 10)	November 19, 2023	House Model: 2-story, 3 Bedroom Kitchen Right on Slab	The Director of Construction is responsible for ensuring that these plans and the house built from them comply with the current mandatory and permissive state codes and local amendments as specified in The Uniform Codes Act of Georgia.	 <p>Habitat for Humanity-NGC 814 Mimosa Blvd, Building C Roswell, GA, 30075 Construction Manager: Ellis Leslie Phone: 770.298.1712 Email: elis@habitatngc.org</p>
6260 Sammy Drive Gainesville, GA 30506	Not to Scale			


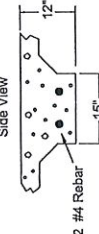
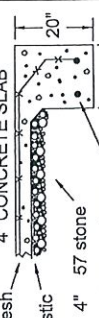
Walls Details

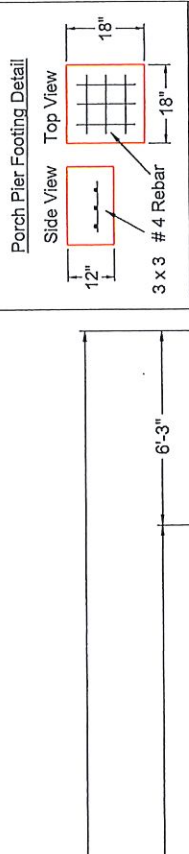


NOTES:

- 1) Install Hardie Siding and Trim in accordance with:
 Hardie Plank Lap Siding-HZ10 April 2018 Install Guide or latest install guide.
 Hardie Trim Boards-HZ10 April 2018 Install Guide or latest install guide.
- 2) Trusses by North GA Truss or other truss company.
- 3) Headers for all Windows and "load bearing" Doors that are 3'-0" and less are Double 2 x 6's.
- 4) All Exterior Headers have 1/2" foam board between Double 2X Boards.
- 5) Crawl Spaces (for a 2-story house) to be Framed with 2"x6" Lumber (the crawlspace is the third floor).

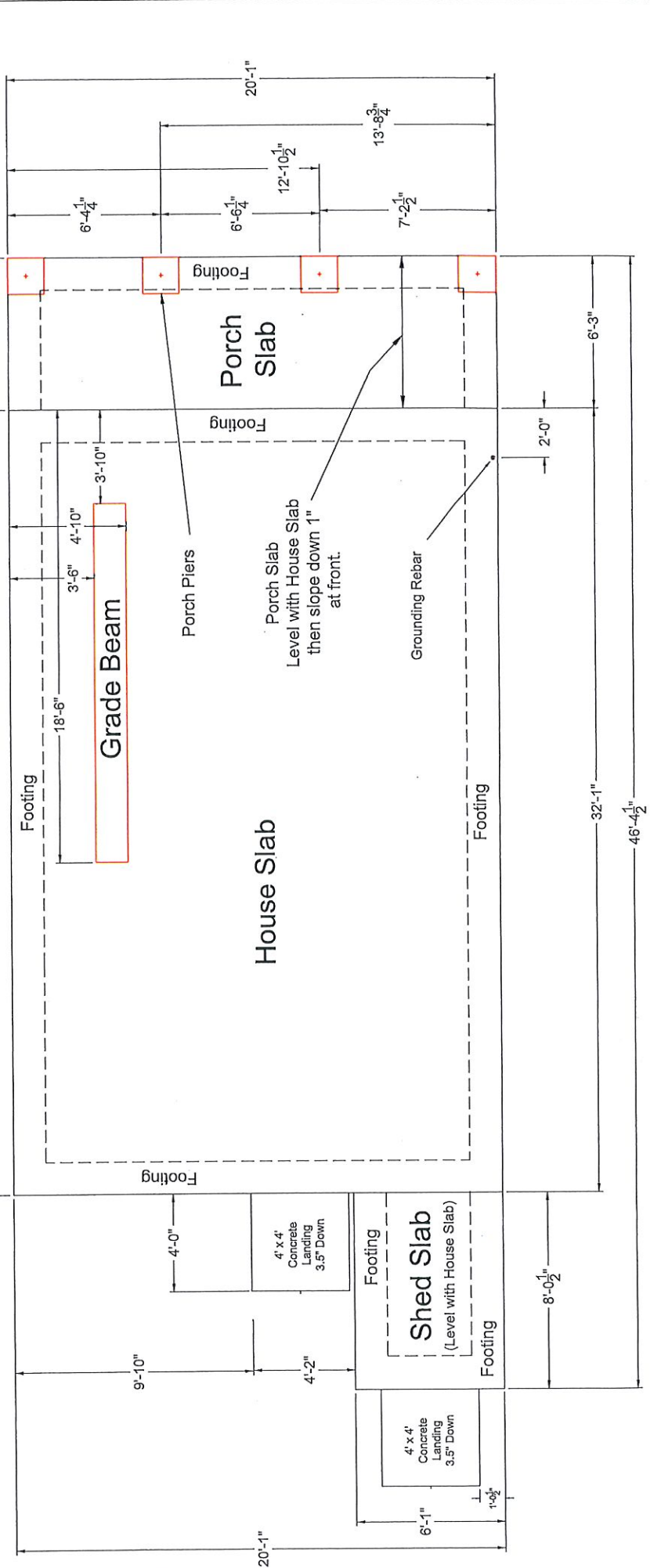
Cover Page		December 15, 2021		House Model: 2-Story, 3 Bedroom Kitchen Right, Shotgun on Slab		The Construction Manager is responsible for ensuring that these plans and the house built from them comply with the current mandatory and permissive state codes and local amendments as specified in The Uniform Codes Act of Georgia.		Habitat for Humanity-NCG 814 Mimosa Blvd, Building C Roswell, GA 30075 Construction Manager: Ellis Leslie Phone: 770.296.1712 Email: elisla@habitat-ncg.org	
6348 Medlock Rd, Lot 3 Gainesville, GA 30506		Not to Scale						Cover Page	December 15, 2021
								Slab Plan	December 15, 2021
								In-Slab Plumbing Plan	December 15, 2021
								J-Bolts Plan	December 15, 2021
								1st Floor Plan	December 15, 2021
								2nd Floor Plan	December 15, 2021
								1st FL Walls Plan	December 15, 2021
								2nd FL Walls Plan	December 15, 2021
								Elevations Plan	December 15, 2021
								Components Plan	December 15, 2021
								Details Plan	December 15, 2021

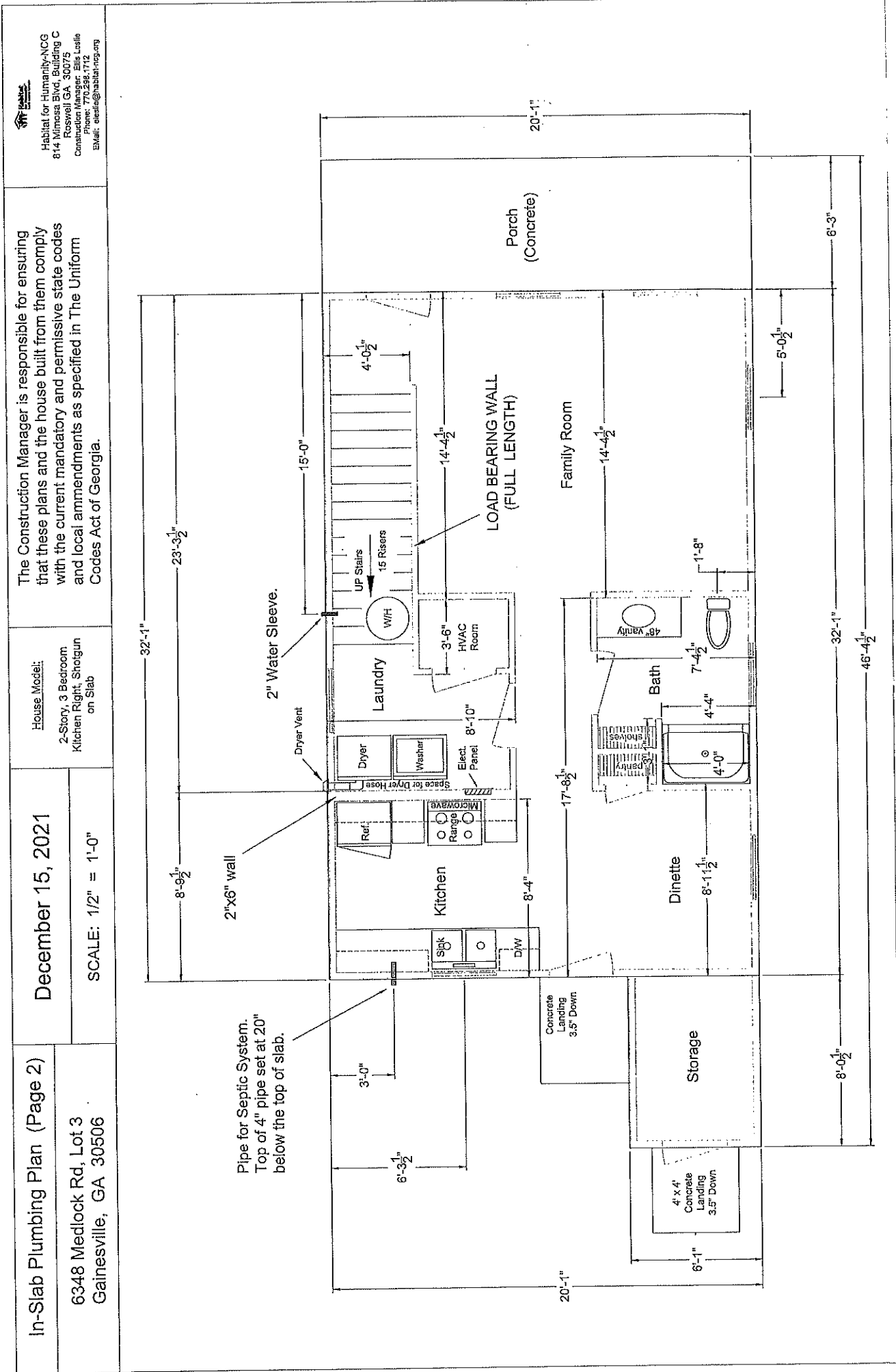
<p>Slab Plan (Page 1)</p> <p>6348 Medlock Rd, Lot 3 Gainesville, GA 30506</p> <p>December 15, 2021</p>	<p>The Construction Manager is responsible for ensuring that these plans and the house built from them comply with the current mandatory and permissive state codes and local amendments as specified in The Uniform Codes Act of Georgia.</p>	<p> Habitat for Humanity-NCG 814 Mimosa Blvd, Building C Roswell GA 30075 Construction Manager: Ella Leslie Phone: 770.296.1712 Email: ellesie@habitat-ncg.org</p>	<p>General Notes:</p> <ol style="list-style-type: none"> 1. Concrete slab shall be constructed in accordance with Chapter 4 of 2012 IRC. 2. Concrete shall have a minimum 28-day compressive strength of 3,000 PSI. 3. Habitat will provide J-Bolts, Portal straps, and 57 Stone. 	<p>Grade Beams Detail</p>  <p>Side View</p> <p>2 #4 Rebar</p> <p>12"</p> <p>15"</p>	<p>Detail for Slabs</p>  <p>6x6 Wire Mesh</p> <p>4" CONCRETE SLAB</p> <p>6 Mil Plastic</p> <p>4" 57 stone</p> <p>Two #4 Rebar continuous (Min 3" Cover)</p>
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Outside Rectangle Dimensions:

Length: 46' - 4 1/2"
Width: 20' - 1"
Diagonal: 50' - 6 7/16"





The Construction Manager is responsible for ensuring that these plans and the house built from them comply with the current mandatory and permissive state codes and local amendments as specified in The Uniform Codes Act of Georgia.

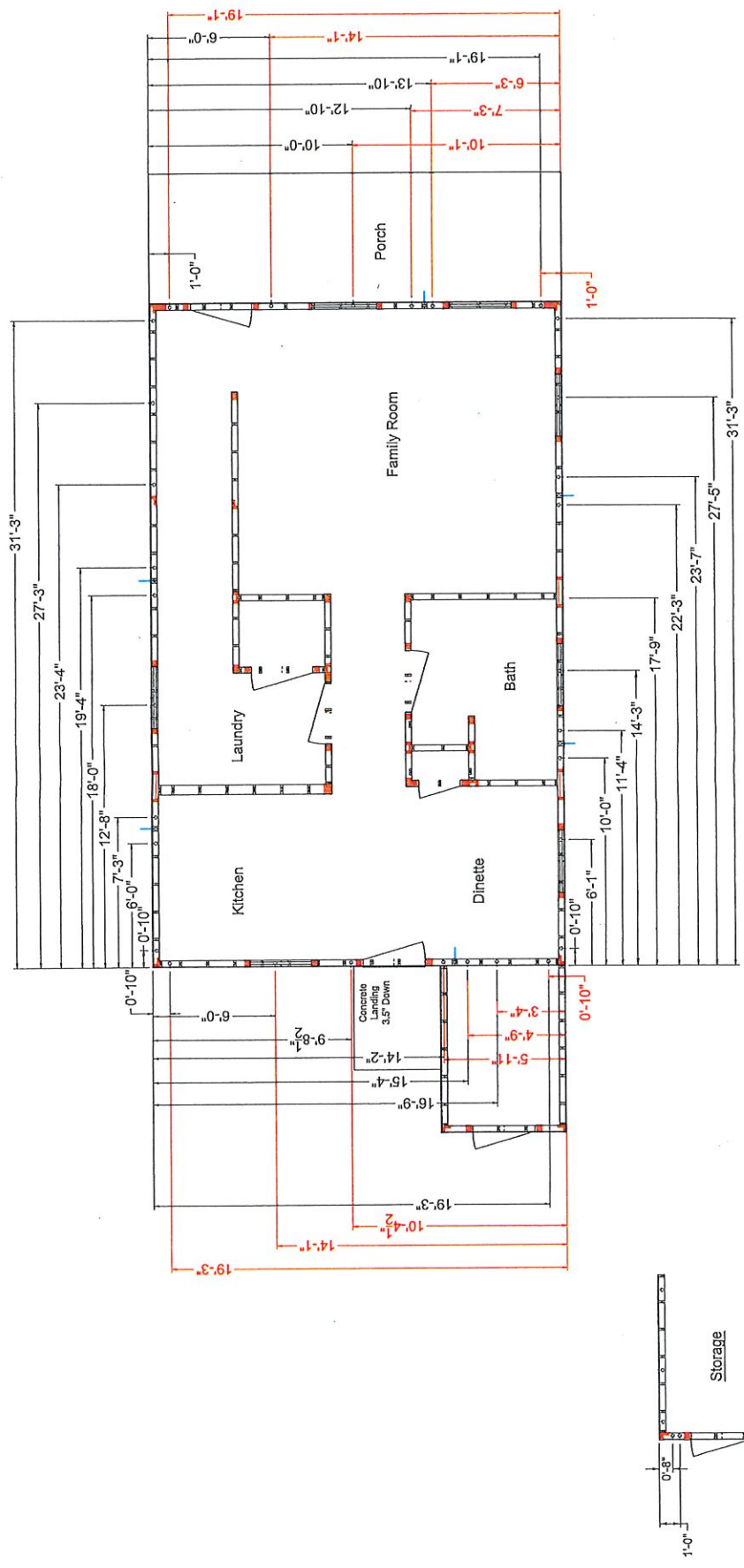
Notes for J-Bolts:
 Imbed 7" min. Within 1 ft of end of boards. 6 ft max apart.
 Two J-Bolts per board minimum (see code book for exceptions).
 Centered on 2x4 (2.25") Use this also for the top of the highest walls for a crawlspace.
 Centered on 2x6 (3.25") Crawlspace walls below the highest wall.
 Height: Ensure threads will go low enough below top of sill to torque board down, but high enough to account for washer and nut. About 2.25 to 2.5" high for a 2x board.

December 15, 2021

SCALE: No Scale

J-Bolts Plan (Page 3)

6348 Medlock Rd, Lot 3
 Gainesville, GA 30506

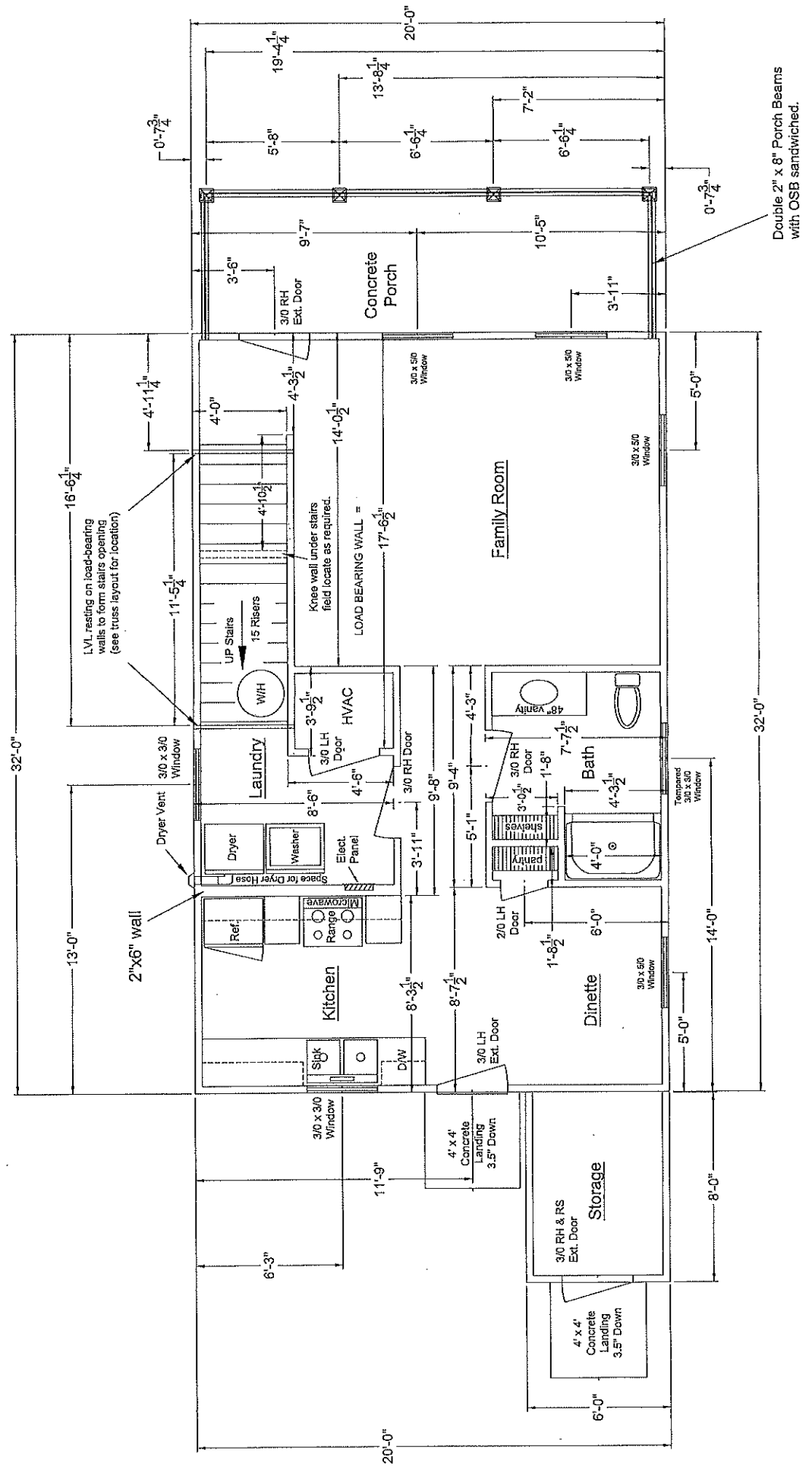
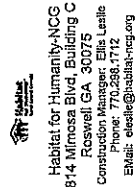


December 15, 2021

6348 Medlock Rd, Lot 3
Gainesville, GA 30506

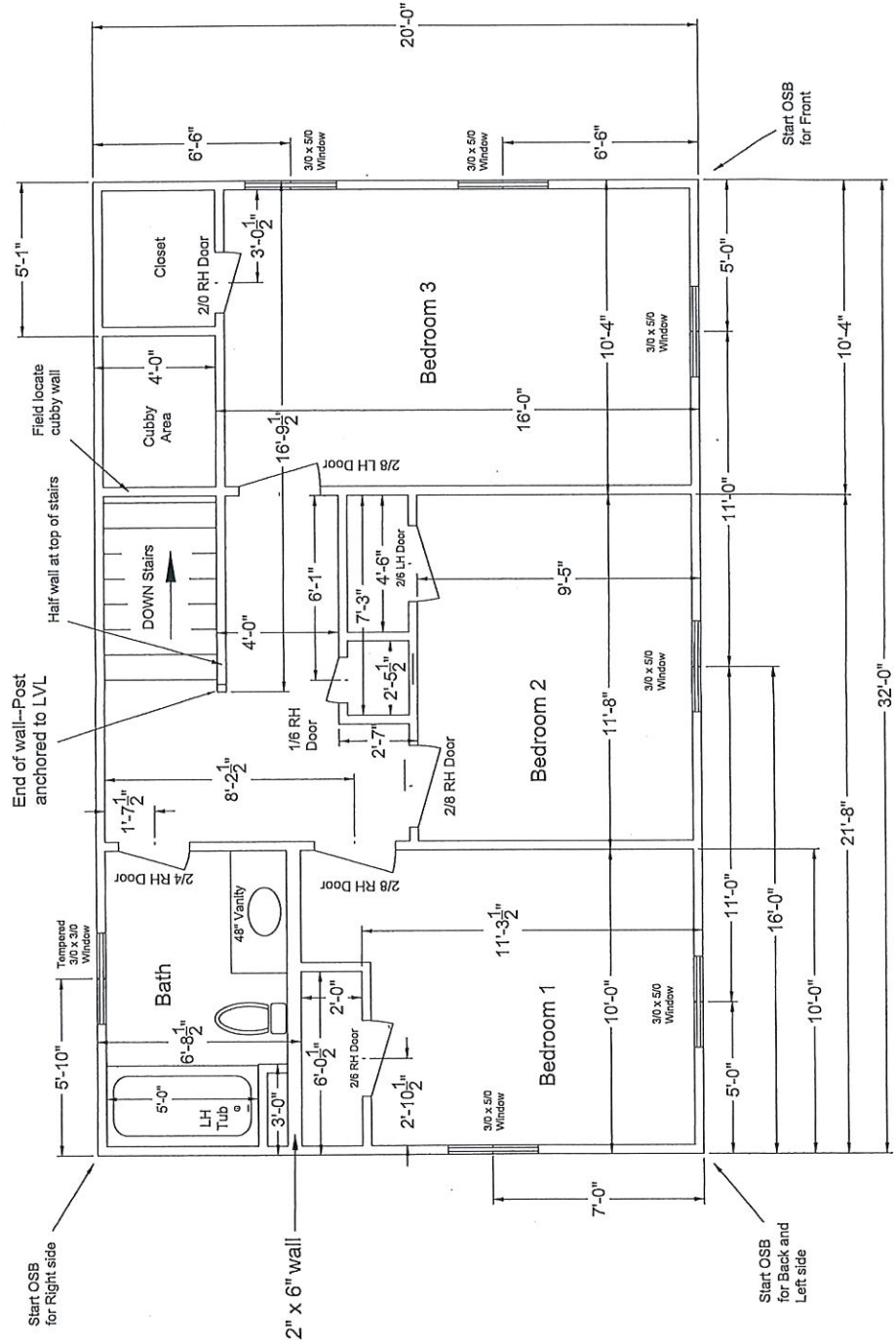
House Model:
2-Story, 3 Bedroom
Kitchen Right, Shotgun
on Slab

The Construction Manager is responsible for ensuring that these plans and the house built from them comply with the current mandatory and permissive state codes and local amendments as specified in The Uniform Codes Act of Georgia.



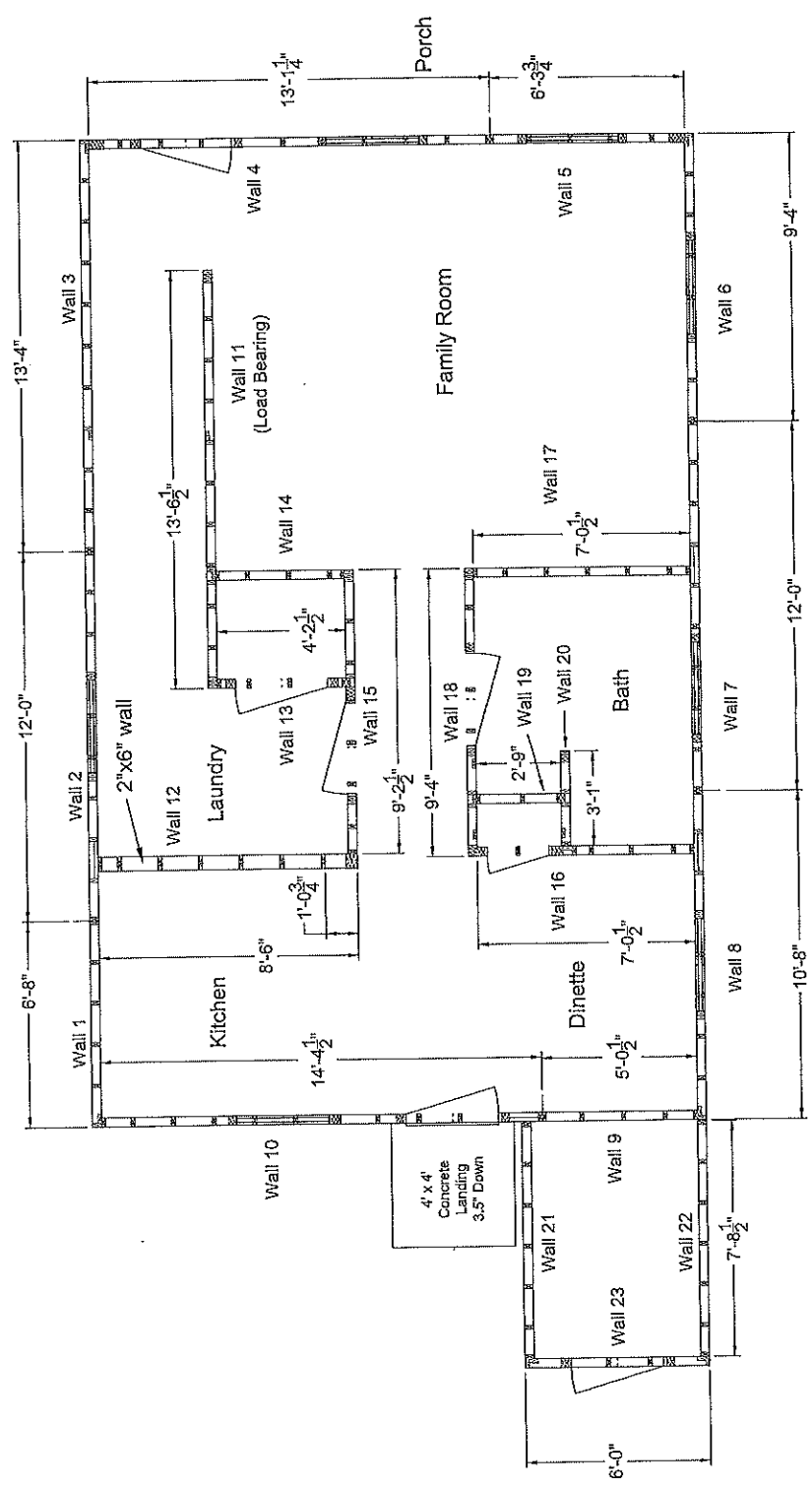
6348 Medlock Rd, Lot 3
Gainesville, GA 30506

SCALE: 1/2" = 1'-0"



<div data-bbox="308 1638 365 1953">1st FL Walls Plan (Page 6)</div> <div data-bbox="389 1638 454 1953">6348 Medlock Rd, Lot 3 Gainesville, GA 30506</div>	<div data-bbox="332 1176 381 1470">December 15, 2021</div> <div data-bbox="406 1197 446 1449">SCALE: 1/2" = 1'-0"</div>	<div data-bbox="332 945 365 1071">House Model:</div> <div data-bbox="373 924 446 1092">2-Story, 3 Bedroom Kitchen Right, Shotgun on Slab</div>	<div data-bbox="308 346 446 892">The Construction Manager is responsible for ensuring that these plans and the house built from them comply with the current mandatory and permissive state codes and local amendments as specified in The Uniform Codes Act of Georgia.</div>	<div data-bbox="308 157 341 241"> </div> <div data-bbox="349 94 446 283"> Habitat for Humanity-NCG 814 Minnesa Blvd. Building C Roswell GA 30075 Construction Manager: Ellis Leslie Phone: 770.288.1712 Email: ellesl@habitatncg.org </div>
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23 Total Walls



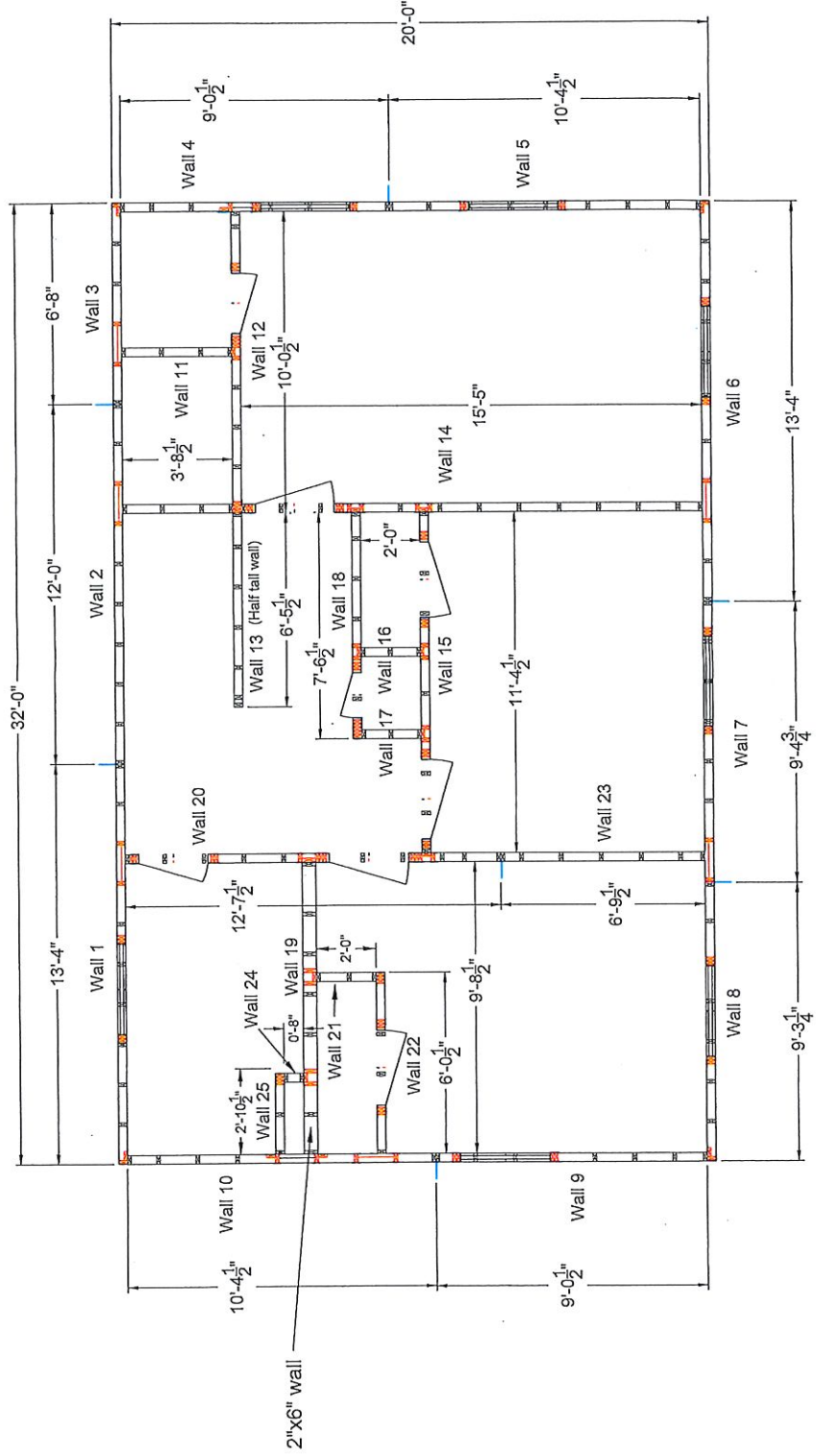
December 15, 2021


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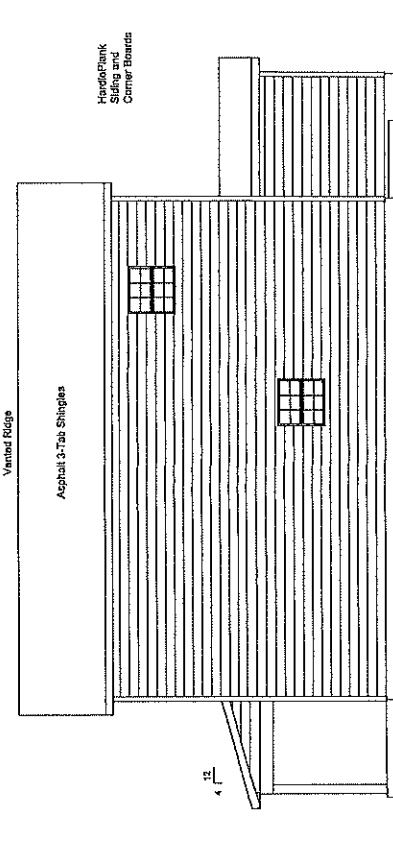
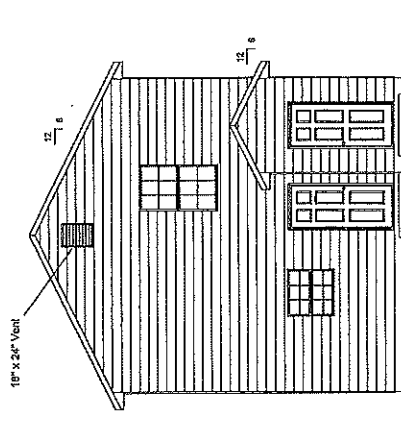
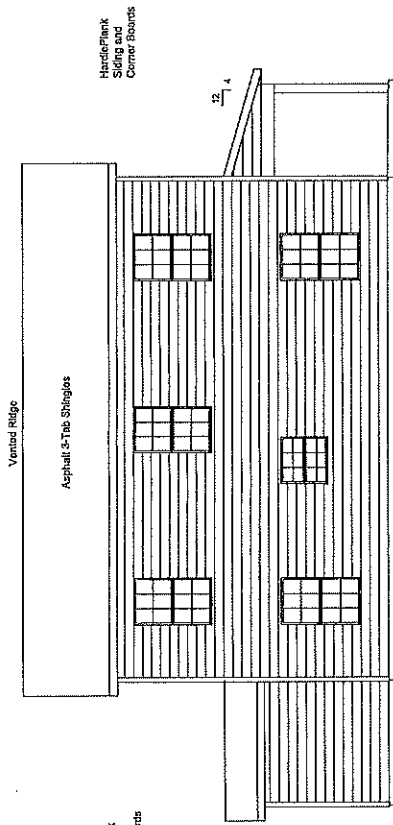
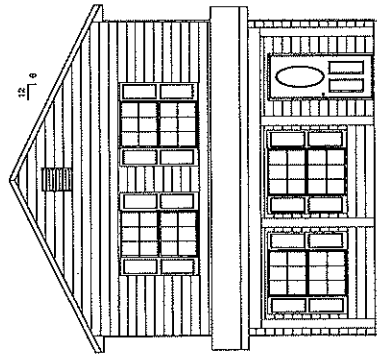
House Model:
2-Story, 3 Bedroom
Kitchen Right, Shotgun
on Slab

The Construction Manager is responsible for ensuring that these plans and the house built from them comply with the current mandatory and permissive state codes and local amendments as specified in The Uniform Codes Act of Georgia.

25 Total Walls

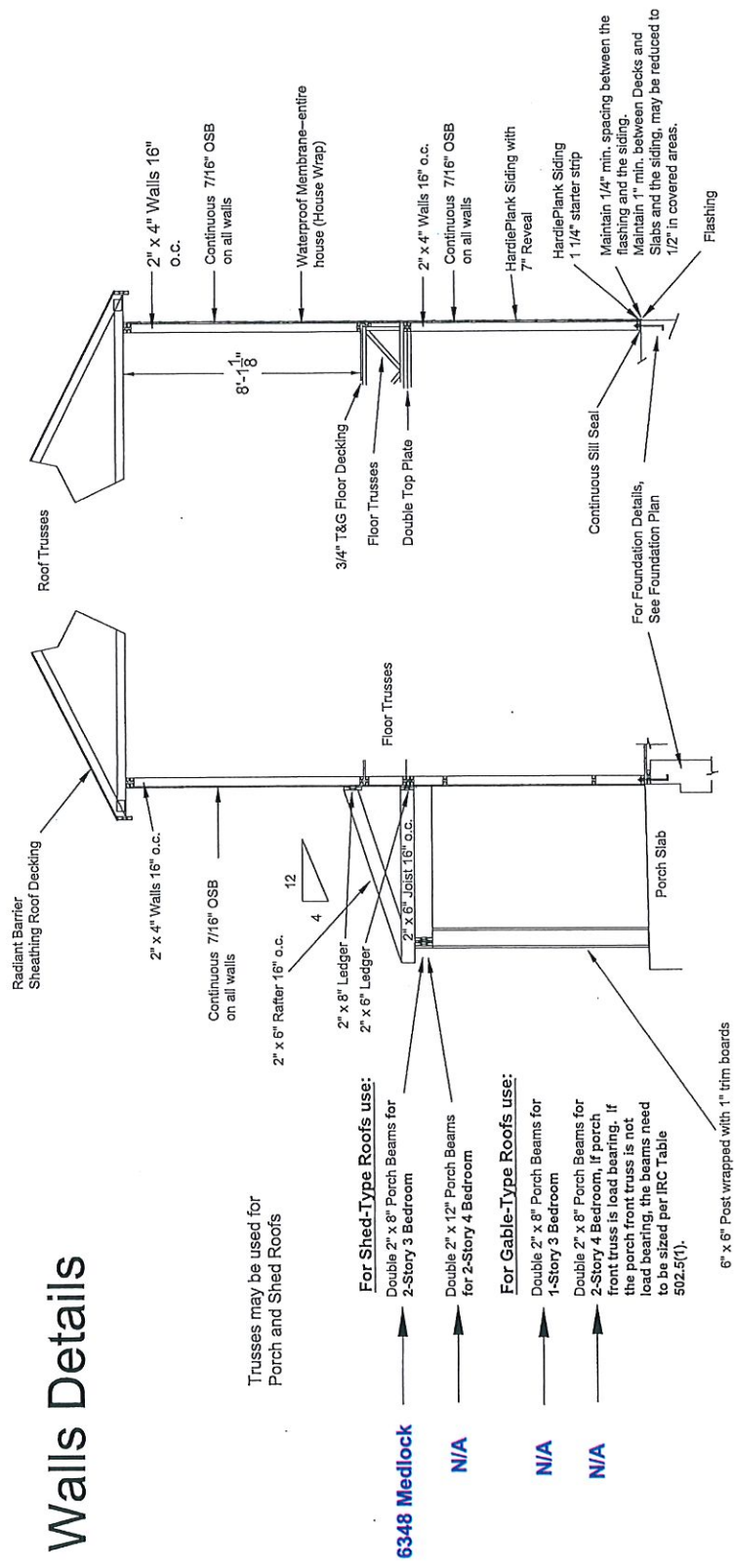


<p>Elevations Plan (Page 8)</p>	<p>December 15, 2021</p>	<p>House Model: 2-Story, 3 Bedroom Kitchen Right, Shotgun on Slab</p>	<p>The Construction Manager is responsible for ensuring that these plans and the house built from them comply with the current mandatory and permissive state codes and local amendments as specified in The Uniform Codes Act of Georgia.</p>	 <p>Habitat for Humanity-NCG 814 Mimosa Blvd, Building C Roswell, GA 30075 Construction Manager: Ellis Leila Phone: 770.258.1712 Email: ellis@habitatncg.org</p>
<p>6348 Medlock Rd, Lot 3 Gainesville, GA 30506</p>	<p>SCALE: 1/4" = 1'-0"</p>			



<div> <div>Details Plan (Page 10)</div> <div>6348 Medlock Rd, Lot 3 Gainesville, GA 30506</div> </div>	<div> <div>December 15, 2021</div> <div>Not to Scale</div> </div>	<div> <div>House Model:</div> <div>2-Story, 3 Bedroom Kitchen Right, Shotgun on Slab</div> </div>	<div> <div>The Construction Manager is responsible for ensuring that these plans and the house built from them comply with the current mandatory and permissive state codes and local amendments as specified in The Uniform Codes Act of Georgia.</div> </div>	<div> <div>Habitat for Humanity-NCG</div> <div>814 Mimosa Blvd. Building C</div> <div>Roswell, GA 30075</div> <div>Contact: Eileen Leslie</div> <div>Phone: 770.298.1712</div> <div>Email: el Leslie@habitat-ncg.org</div> </div>
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Walls Details



- NOTES:
- 1) Install Hardie Siding and Trim in accordance with:
Hardie Plank Lap Siding-HZ10 April 2018 Install Guide or latest install guide.
Hardie Trim Boards-HZ10 April 2018 Install Guide or latest install guide.
 - 2) Trusses by North GA Truss or other truss company.
 - 3) Headers for all Windows and "load bearing" Doors that are 3'-0" and less are Double 2 x 6's.
 - 4) All Exterior Headers have 1/2" foam board between Double 2X Boards.
 - 5) Crawl Spaces (for a 2-story house) to be Framed with 2x6" Lumber (the crawlspace is the third floor).

City Council:
Caleb Phillips, Post 1
William Ilg, Post 2
Sandy Sawyer, Post 3
Mark French, Post 4



John Walden
Mayor

Jacob Evans
City Manager

Beverly Banister
City Clerk

Planning Commission:

Dr. Saba Hareinger, At-Large
Madison Eiberger, Post 1
Vacant, Post 2
Randy Davis, Chairperson Post 3
Ashley Stephenson, Post 4

415 Highway 53 East, Suite 100
Dawsonville, GA 30534
Office (706)265-3256
www.dawsonville-ga.gov

Stacy Harris
Zoning Admin

PUBLIC HEARING NOTICE

The City of Dawsonville Planning Commission and the City of Dawsonville Mayor and City Council will each conduct a public hearing at the respective dates and times provided below, regarding a certain matter itemized herein. Public hearings will be conducted in the Council Chambers on the second floor of City Hall located at 415 Hwy. 53 East, Dawsonville Georgia 30534. The public are invited to attend.

.....
ZA-C2500169: Spicer Group Inc. on behalf of Dede Allen, Habitat for Humanity - NCG has petitioned for an amendment to the official zoning map applicable to the properties provided below. The applicant proposes the properties be rezoned from R-2: Single-Family Residential District to RCT: Residential Cottage, for the development of a micro-planned/pocket cottage development.

Tax Map Parcels: D01 047 005 (Stegall Place), D01 047 006 (Stegall Place), D01 047 007 (Stegall Place), D01 047 008 (Stegall Place), D01 047 009, and D01 047 010.

Planning Commission Public Hearing Date: September 15, 2025, at 5:30 PM.

Mayor and City Council Public Hearing Date: September 22, 2025, at 5:00 PM.

If you wish to speak on the request, please contact City Hall for a CAMPAIGN DISCLOSURE form. ***This form is only needed if you have made campaign contributions in the amount of \$250.00 or more within 2 years prior to this date.***

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Tax map parcel D01 047 005 (Stegall Place), tax map parcel D01 047 006 (Stegall Place), tax map parcel D01 047 007 (Stegall Place), tax map parcel D01 047 008 (Stegall Place), tax map parcel D01 047 009, and tax map parcel D01 047 010.

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Mayor and City Council public hearing date: September 22, 2025, at 5:00 PM.

VAR-C2500170: Spicer Group Inc. on behalf of Dede Allen, Habitat for Humanity - NCG has petitioned for a variance from Sec. 2103.9. Specifically, they request a reduction of the minimum required undisturbed buffer width for the proposed RCT: Residential Cottage zone from 50 feet to 40 feet at the rear (north) and side (east and west) property lines, applicable to the properties

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DAWSONVILLE CITY COUNCIL EXECUTIVE SUMMARY FOR AGENDA ITEM # 13

SUBJECT: **VAR-C2500170**

CITY COUNCIL MEETING DATE: 09/22/2025

BUDGET INFORMATION: GL ACCOUNT # _____

☐ Funds Available from: _____ Annual Budget _____ Capital Budget Other _____

☐ Budget Amendment Request from Reserve: _____ Enterprise Fund _____ General Fund

PURPOSE FOR REQUEST: **TABLE THE PUBLIC HEARING UNTIL THE REZONING REQUEST ZA-C2500169 IS HEARD**

VAR-C2500170: Spicer Group Inc. on behalf of Dede Allen, Habitat for Humanity - NCG has petitioned for a variance from Sec. 2103 (9). Specifically, they request a reduction of the minimum required undisturbed buffer width for the proposed RCT: Residential Cottage zone from 50 feet to 40 feet at the rear (North) and side (East and West property lines, applicable to the properties below.

Tax Map Parcels: D01 047 005 (Stegall Place), D01 047 006 (Stegall Place), D01 047 007 (Stegall Place), D01 047 008 (Stegall Place), D01 047 009, and D01 047 010.

Mayor and City Council Public Hearing Date: September 22, 2025, at 5:00 PM

HISTORY/ FACTS / ISSUES:

- **+/- 3.13 acres**
- **12 dwelling units / 3.84 density per acre**
- **Vacant land**
- **Planning Commission Tabled the rezoning request until October 13, 2025**

OPTIONS:

RECOMMENDED SAMPLE MOTION:

REQUESTED BY: CPL, Planning & Zoning Department



CITY OF DAWSONVILLE

Planning Staff Report

Variance Request

APPLICANTDede Allen, Habitat for Humanity - NCG

CASE NUMBERVAR-C2500170

REQUESTVary from Sec. 2103.9 to reduce the minimum required undisturbed buffer width for the proposed RCT: Residential Cottage zone from 50 feet to 40 feet at the rear (north) and side (east and west) property lines.

CURRENT ZONING DESIGNATIONR-2: Single-Family Residential District

SITE AREA.....+/- 3.13 acres

LOCATIONStegall Place

TAX MAP PARCELS.....D01 047 005, D01 047 006, D01 047 007, D01 047 008, D01 047 009 & D01 047 010

CITY COUNCIL PUBLIC HEARING DATE*September 22, 2025

CITY COUNCIL DECISION MEETING DATE*October 20, 2025

INTRODUCTION

The applicant has requested to vary from the micro-planned/pocket development buffer regulations (Sec. 2103.9). Specifically, they propose the reduction of the minimum required undisturbed buffer width for the proposed RCT: Residential Cottage zone from 50 feet to 40 feet along the rear (north) and side (east and west) property lines. Separate from this request, the applicant has initiated a zoning map amendment request (case ZA-C2500169) to rezone the subject parcels to RCT: Residential Cottage. If the requested variance is approved, the undisturbed exterior buffer with all abutting properties would be reduced by twenty percent (20%) to 40 feet.

PROPOSAL

The subject 3.13 +/- assemblage, which fronts Stegall Place to the south, is in a primarily residential area, and property tax records show no history of development. The site is heavily wooded, and many existing trees would be removed to enable the proposed cottage development.

Pursuant to Sec. 2103.9, an undisturbed buffer no less than 50 feet in width shall be maintained where an RCT zone abuts a different zoning district. For the subject site, this applies to the western, northern, and eastern property lines. The submitted variance application states that a 50-foot buffer “is too large for a [3-acre] parcel,”

*City Council hearing and meeting dates are subject to change

and when “factoring in stormwater accommodations and grading, a proposed 40’ buffer would still provide a visual barrier.” Further, they report that “a 50’ exterior buffer would restrict more than half of the property.” If the variance were to be denied, “drainage from upstream and downstream properties can’t be property accommodated without walls, which would increase the risk for injury” according to the submittal. The conceptualized site design, which provides for 40-foot exterior buffers rather than 50-foot-wide iterations, has necessitated this variance request.

SURROUNDING PROPERTIES

<i>Direction from the Site</i>	<i>Existing Zoning</i>	<i>Existing Land Use</i>
North	CBD, HB, R-2	Single-family residential, agriculture, government office
South	R-2	Single-family residential, vacant land
East	R-2	Single-family residential, multi-family residential
West	CBD, R-2	Single-family residential, agriculture

COMPREHENSIVE PLAN

Pursuant to the 2023 Dawsonville Comprehensive Plan, the subject assemblage is in the Residential Character Area.

The Residential Character Area “represents the outlying residential portions of the city to the northwest, northeast and south. There are no immediate plans to alter their general form or land use, and long term plans suggest these areas will remain residential. Present levels of agricultural activity will continue as development pressures will allow, but neither the city nor the county will pursue capital improvements in this region to facilitate new development.

This area will be fostered as a haven for larger residential uses and rural/conservation subdivisions to facilitate a buffer between the higher densities of Dawsonville and the rest of Dawson County. Most development should entail large lots, with an average approaching or, preferably, surpassing five acres per unit [0.2 du/acre]. Nonresidential activity should be kept to a minimum and compliment the rural character of the area, such as churches, neighborhood scale markets and services with limited parking and traffic generation.”

Permissible land use types in Residential Character Area are Residential, Agricultural, and Conservation.

ANALYSIS

Sec. 907 – Variances, conditional uses and map amendments.

Subsection I. Purpose. The purpose of a variance is to provide relief when a strict application of the district requirements would impose unusual practical difficulties or unnecessary physical hardships on the applicant. Practical difficulties and unnecessary hardships may result from the size, shape, or dimensions of a site or the location of existing structures thereon; from geographic, topographic, or other conditions on the site or in the immediate vicinity. No variance shall be granted to allow the use of property for a purpose not authorized within the district in which the proposed use would be located. A variance should be granted only after evidence is presented and accepted that enforcement of all of the required standards on the property in question would render the property useless. This article establishes conditions; criteria for granting variances; public hearings

on proposed variances; variances to road requirements; variance procedures; compliance with conditions of approval; vested interest in approved variances; investigations and reports; revocation; limitations on re-applications; and use variance. A variance may be granted, upon specific findings that all of the following conditions exist. The absence of any one of the conditions shall be grounds for denial of the application for variance.

(Language in bold is from the City of Dawsonville Zoning Ordinance. Bulleted information that is not bolded are factors known to staff that may apply to the Ordinance criteria.)

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape or topography that are not applicable to other land or structures in the same district; and,

- The subject site is similar in size and topography to neighboring parcels; however, it's relatively deep and rectangular in shape.
- Site geometry results in a greater portion being devoted to undisturbed buffers compared to sites with differing shapes and dimensions.
 - i. Pursuant to the survey provided, the assemblage perimeter totals 1,555 feet. Of this, 1,296 feet (83.3%) of the perimeter directly abuts adjacent properties, and 259 feet (16.7%) abuts Stegall Place. Accordingly, 83.3% of the lot perimeter is subject to exterior buffer requirements.
 - ii. By comparison, a square lot would have 75% of its perimeter subject to buffering, and a rectangular-shaped site wider than it is deep would have even less. In both cases, the share of the site devoted to buffering would be lower than the applicant's circumstance.

2. A literal interpretation of the provisions of these zoning regulations would create an unnecessary hardship and would deprive the applicant of rights commonly enjoyed by other property owners within the district in which the property is located; and,

- Staff *do not* anticipate that a literal interpretation of Residential Cottage buffer standards, commanding a 50-foot undisturbed buffer along all adjacent property lines, would create unnecessary hardship for the applicant.
 - i. Absent an approved variance, the applicant could construct a micro-planned/pocket development with fewer cottages and/or a different arrangement, as to accommodate 50 feet of buffering along all property lines.
 - ii. However, due to the geometry of the lot, the 50-foot buffer requirement might be more impactful and restrictive than for similar sites in the City.
- The associated zoning map amendment proposal (ZA-C2500169) to rezone the site to RCT: Residential Cottage, if approved, would create the first RCT zone in Dawsonville.

3. Granting the variance requested will not confer upon the property of the applicant any special privileges that are denied to other properties of the district in which the applicant's property is located; and,

- If City Council finds that exceptional conditions exist upon the subject lot, granting the requested variance would not confer any special privileges.

4. **Relief, if granted, will be in harmony with the purpose and intent of these regulations and will not be injurious to the neighborhood or general welfare in such a manner as will interfere with or discourage the appropriate development and use of adjacent land and buildings or unreasonably affect their value; and,**
 - If the request is approved, the map amendment request to rezone the site to RCT: Residential Cottage, must also be approved for the variance to be realized.
5. **The special circumstances are not the result of the actions of the applicant; and,**
 - The circumstances which substantiate this variance request are the direct result of the applicant.
 - i. The applicant has initiated a request to rezone and develop the presently vacant assemblage, which has prompted this variance request.
6. **The variance requested is the minimum variance that will make possible the legal use of the land, building, or structure; and,**
 - Staff defer to the associated rezoning case (ZA-C2500169) for this criterion.
7. **The variance is a request to permit a use of land, building or structures which is permitted by right in the district involved.**
 - If the variance request is approved, it would enable a cottage development, which is permitted by-right in the RCT: Residential Cottage district.

Subsection II.C Basis for approval. No variance may be granted under this paragraph for an application for a variance that has been heard by the planning commission within one year or if the application is for the expansion of a non-conforming use or structure. The following criteria shall be considered by the planning commission (or City Council) before granting a variance under this paragraph:

(Language in bold is from the City of Dawsonville Zoning Ordinance. Bulleted information that is not bolded are factors known to staff that may apply to the Ordinance criteria.)

1. **The variance neither interferes with the rights of others as provided in this chapter nor is injurious to the public health, safety, general welfare;**
 - Staff do not anticipate that granting the subject variance would be detrimental to the rights, health, or welfare of others.
2. **A strict interpretation and enforcement of the standards or requirement would result in practical difficulty or unnecessary hardship;**
 - A strict interpretation of Residential Cottage buffer standards, which require a 50-foot undisturbed buffer along all adjacent property lines, is unlikely to create unnecessary hardship for the applicant.
 - i. However, due to lot geometry, the 50-foot buffer requirement might be more impactful and restrictive than for similar sites nearby.
3. **Exceptional or extraordinary circumstances applicable to the subject property exist that do not generally apply to other properties in the same district;**
 - There are no exceptional or extraordinary circumstances applicable to the subject site in the context of nearby properties.

- The subject variance request has been necessitated by a separate application to rezone the assemblage to RCT: Residential Cottage. If approved, this site would be the first RCT zone in Dawsonville.
4. **The variance provides for reasonable use under the specified circumstances of each application;**
 - If the variance request is approved, it would enable a cottage development, which is permitted by-right in the RCT: Residential Cottage district.
 5. **The variance achieves the general intent of this ordinance;**
 - Staff cannot determine whether the subject variance request may aid or detract from the intent of the Zoning Ordinance.
 6. **The variance is the minimum possible variance under the specific circumstances; and**
 - Pursuant to the submitted concept plan, the requested buffer reduction to 40 feet is likely the minimum possible along the side (east and west) property lines.
 - Reducing the minimum exterior buffer to 40 feet along the northern property line may exceed the minimum possible variance based on the depicted stormwater management facility.
 - i. The facility is shown to maintain approximately 52 feet from the rear property line.
 7. **The variance does not exceed the scope of the authority set forth in subsection (A) hereof.**
 - The requested variance represents a 20% decrease in the minimum required exterior buffer width. Therefore, the request does not exceed the scope of authority as established in Sec. 907.II.A.

STAFF RECOMMENDATION

Staff recommends **approval with conditions** of the variance request to reduce the minimum required undisturbed buffer width for the proposed RCT: Residential Cottage zone from 50 feet to 40 feet at the rear (north) and side (east and west) property lines. Staff recommends the following **conditions** be adopted as part of the approval:

1. Approval of this variance request is contingent upon the approval of zoning map amendment request ZA-C2500169, to rezone the subject property to RCT: Residential Cottage.
2. The undisturbed buffer at the rear (northern) property line shall only be reduced by five (5) feet, to 45 feet.



City of Dawsonville
415 Highway 53 East, Suite 100
Dawsonville, GA 30534
Phone: (706) 265-3256

Variance Application

VAR- C2500170

Application for: ☐ Appeal ☒ Special Exception ☐ Adjustment

Variance Requested: Reduce exterior buffer from 50' to 40' (Letter of Intent must fully describe this request)

Applicant Name: Dede Allen Company: Habitat for Humanity - NCG

Address: 814 Mimosa Blvd - Bldg C City: Roswell, GA Zip: 30075

Cell Phone: _____ Email: _____

Owner Name(s): Same as Above

Address: _____ City: _____ Zip: _____

Cell Phone: [REDACTED] Email: dallen@habitat-ncg.org

Exact Location and Description of Subject Property:

Address: Stegall Pl Lot # _____

Present/Proposed Zoning: R-2 to RCT Parcel # D01 047 005-010

District: 4th Land Lot: 439 & 446 Tax Map # D01 047 005-010

Present and/or Proposed Use of Property: Presently wooded, proposed cottage community

Required Items:

- A completed signed application.
- A detailed Letter of Intent of your request along with any supporting maps, survey's and/or documents requested by the Planning Director.
- The Letter of Intent shall address the criteria specified in Article IX. Sec. 907. Variances, conditional uses and map amendments (see page 2 & 3).
- Sign Variance authorized by City Council only per Chapter 105 Sec 105-8.

FEE SCHEDULE

Variance Per Ordinance Amendment	\$300.00
Administrative fee	\$100.00
Appeals and Change of Zoning Conditions	\$500.00
Public Notice Certified Mail	**per adjacent property owner

**price is determined by USPS

Dede Allen
Signature of Applicant

7-22-25
Date

Office Use Only	
Date Completed Application Rec'd:	Amount Paid: \$ <u>400</u> <u>CK</u> Cash CK
Date of Planning Commission Meeting: <u>NA</u>	Dates Advertised: <u>8.20.2025</u>
Approved by Planning Commission: <u>YES NO</u>	Approved by City Council: YES NO
	Postponed: YES NO Date:



City of Dawsonville Land Use and Zoning Ordinance: Article IX Variances.

Does This Proposal Qualify For A Variance?

The purpose of a variance is to provide relief when a strict application of the district requirements would impose unusual practical difficulties or unnecessary physical hardships on the applicant. Practical difficulties and unnecessary hardships may result from the size, shape, or dimensions of a site or the location of existing structures thereon; from geographic, topographic, or other conditions on the site or in the immediate vicinity. No variance shall be granted to allow the use of property for a purpose not authorized within the district in which the proposed use would be located. A variance should be granted only after evidence is presented and accepted that enforcement of all of the required standards on the property in question would render the property useless. This Article establishes conditions; criteria for granting variances; public hearings on proposed variances; variances to road requirements; variance procedures; compliance with conditions of approval; vested interest in approved variances; investigations and reports; revocation; limitations on re-applications; and use variance. **A variance may be granted, upon specific findings that all of the following conditions exist. The absence of any one of the conditions shall be grounds for denial of the application for variance.**

Please Answer The Following In Addition to Providing A Letter Of Intent

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape or topography that are not applicable to other land or structures in the same district; and,

Answer:

As the first proposed RCT project, we feel the 50' exterior buffer is too large for a 3ac parcel. To accomodate a Cottage Community factoring in stormwater accomodations and grading, a proposed 40' buffer would still provide a visual barrier to adjoining parcels.

_____and,

2. A literal interpretation of the provisions of these zoning regulations would create an unnecessary hardship and would deprive the applicant of rights commonly enjoyed by other property owners within the district in which the property is located;

Answer:

Again, due to the size and shape of the combined parcel, a 50' exterior buffer would restrict more than half of the property. To be able to provide a cottage community with houses, streets, sidewalks, parking and open areas, a reduced buffer is necessary.

_____and,

3. Granting the variance requested will not confer upon the property of the applicant any special privileges that are denied to other properties of the district in which the applicant's property is located;

Answer:

This is the first RCT, the first in this district and therefore there are no other properties to compare to.

_____and,

4. Relief, if granted, will be in harmony with the purpose and intent of these regulations and will not be injurious to the neighborhood or general welfare in such a manner as will interfere with or discourage the appropriate development and use of adjacent land and buildings or unreasonably affect their value;

Answer:

If relief were granted, we feel the intent of a cottage community, one with sidewalks, parking, open spaces and common areas, will be met and in harmony with the purpose and intent of these regulations. Without the variance, drainage from upstream and downstream properties can't be properly accomodated wihtout walls, which would increase the risk for injury.

and,

5. The special circumstances are not the result of the actions of the applicant;

Answer:

These special circumstances are due to little to no history applying RCT zoning criteria onto a parcel of this shape and size.

and,

6. The variance requested is the minimum variance that will make possible the legal use of the land, building, or structure;

Answer:

After previous meetings with the Dawson County planning staff, we have worked to minimize the variance request to an exterior buffer of 40' instead of 50', which will make it possible to build a Cottage Community in the spirit of the code.

and,

7. The variance is a request to permit a use of land, building or structures which is permitted by right in the district involved.

Answer:

Correct, specifically the variance will allow the residential cottages to be constructed in a way that offsite drainage and slopes can be tied to without having to add walls, while still providing for a visual barrier.

The applicant, or designated agent, MUST* attend the public hearings for the variance request to be considered.

***NOTE:** If the applicant of a petition before the Planning Commission fails to attend the public hearing, then the Planning Commission may deny the subject petition or may require re-advertisement of the subject petition at the expense of the applicant.

VAR# _____ TMP# _____ Applicant's Name: _____

Property Owner Authorization

I / We Habitat for Humanity - NCG hereby swear that I / we own the property located at (fill in address and/or tax map & parcel #) 001-047(005-010)
Stegall Place as shown in the tax maps and/or deed records of Dawson County, Georgia, and which parcel will be affected by this request.

I hereby authorize the person(s) or entity(ies) named below to act as the applicant or agent in pursuit of the variance requested on this property. I understand that any variance granted, and/or conditions or stipulations placed on the property will be binding upon the property regardless of ownership. The under signer below is authorized to make this application. The undersigned is aware that no application or reapplication affecting the same land shall be acted upon within 6 months from the date of the last action.

Printed Name of Owner Dede Allen - Habitat for Humanity NCG
Signature of Owner Dede Allen Date 7-22-25
Mailing Address 814 Mimosa Blvd
City Roswell State GA Zip 30075
Telephone Number 404-483-2352

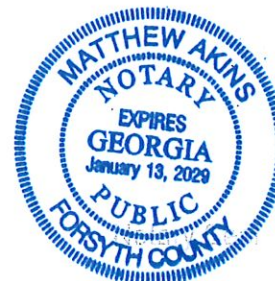
Sworn to and subscribed before me.

this 22 day of Jul 2025.

[Signature]

Notary Public, State of Georgia

My Commission Expires: 01/13/29



(The complete names of all owners must be listed, if the owner is a partnership, the names of all partners must be listed, if a joint venture, the names of all members must be listed. If a separate sheet is needed to list all names, please have the additional sheet/sheets notarized also.)

Public Hearings

Notice of Public Hearing

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Planning Commission public hearing date: September 15, 2025, at 5:30 PM.

Mayor and City Council public hearing date: September 22, 2025, at 5:00 PM.

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DAWSONVILLE CITY COUNCIL EXECUTIVE SUMMARY FOR AGENDA ITEM # 14

SUBJECT: **REQUEST TO AWARD RFP #25-RFP-001: IT MANAGED SERVICES**

CITY COUNCIL MEETING DATE: 09/22/2025

BUDGET INFORMATION: GL ACCOUNT # _____

☐ Funds Available from: _____ Annual Budget _____ Capital Budget Other _____

☐ Budget Amendment Request from Reserve: _____ Enterprise Fund _____ General Fund

PURPOSE FOR REQUEST:

TO REQUEST TO AWARD RFP #25-RFP-001 FOR IT MANAGED SERVICES TO ANDERSON COMPUTER & NETWORK SERVICES, INC. (ACNS) AND APPROVE THE AGREEMENT

HISTORY/ FACTS / ISSUES:

- CITY ISSUED THE RFP EARLIER THIS YEAR AND RECEIVED THIRTY-EIGHT RESPONSES; A MAJORITY OF RESPONSES WERE REJECTED DUE TO NOT MEETING THE SPECIFICATIONS AS REQUIRED IN THE RFP.
 - THE REMAINDER OF THE RFPs WERE EVALUATED BY A COMMITTEE ACCORDING TO SPECIFIC CRITERIA. THREE FIRMS SCORED AN AVERAGE OF 75+ POINTS AND THE COMMITTEE HELD INPERSON INTERVIEWS WITH EACH FIRM.
 - COMMITTEE RECOMMENDS ACNS AS THE CANDIDATE TO AWARD THE RFP BASED ON HIGH SCORING FOR THEIR OVERALL CAPABILITIES AND GOVERNMENT EXPERIENCE, PROJECT COST, AND THEIR LOCATION. ADDITIONALLY, THE COMMITTEE DETERMINED THROUGH THE INTERVIEW PROCESS THAT ACNS BEST REPRESENTED THE CITY'S NEEDS AS IT'S MANAGED IT VENDOR.
 - CITY ATTORNEY REVIEWED AND APPROVED THE CONTRACT
-

OPTIONS:

RECOMMENDED SAMPLE MOTION:

STAFF RECOMMENDS AWARDING RFP #25-RFP-001 TO ANDERSON COMPUTER & NETWORK SERVICES, INC. AND APPROVING THE AGREEMENT

REQUESTED BY: Beverly A. Banister, City Clerk

COMPUTER CONSULTING AGREEMENT

THIS AGREEMENT is made this _____ day of _____, _____ by and between Anderson Computer & Network Services, Inc. ("Consultants") and City of Dawsonville ("Customer").

Company: **Anderson Computer & Network Services, Inc.**

Customer Company: **City of Dawsonville**

Offices Included: All City of Dawsonville Offices

Agreements

In consideration of the mutual covenants set forth in this Agreement, Customer and Consultants hereby agree as follows:

1. **Services.** The Consultants shall, during the Term (as defined below) provide to the Customer the computer consulting services described below (the "Services" or "Work Product"), at such times as the Customer may reasonably request.

Services include, but are not limited to evaluating and recommending IT hardware and software, purchase and installation of hardware and software for Customer's IT functions and maintenance and support for software and hardware as follows:

A. Workstations

1. Maintain Service Pack Updates and Security Updates on all Workstations.
2. Develop and deploy security software solution to include anti-virus, network and firewall security as well as ransomware protection.
3. Develop standardization of desktop and network related hardware.
4. Develop computer life cycling for regular replacement of all workstations, servers and network infrastructure.
5. Maintain Service Pack Updates and Security Updates on all Servers.
6. Develop backup strategies for both onsite and offsite backups. This service includes planning and recommendations for hardware and software. Purchase of hardware and software shall be by separate agreement.
7. ACNS, Inc. will manage and exercise all administrator activities including administrator passwords, creating user accounts, server administrator, working with software vendors for needed upgrades, etc. Having a single entity responsible for the activities is paramount to maintaining a secure environment for all users as well as the integrity of the cities' network.

B. Network Operations

1. Maintain Routers and Switches and ensure firmware is updated.
2. Ensure that all Servers, Network Switches, Routers and Internet Links are properly optimized.
3. Periodic network check for CRC errors, duplex mismatch, utilization, etc.
4. Ensure that all firewalls are properly configured and functioning properly. Software-based firewalls shall be updated according to service contract with firewall vendor.

C. Miscellaneous Activities

1. Develop Network Documentation for support purposes.
2. Technical Phone Support for Issues through the ACNS helpdesk / ticketing system.
 - a. This would include issues deemed IT related / technical support that can be accessed directly or indirectly by the ACNS staff.
3. Develop relationships with software vendors to ensure proper access, data integrity and functionality. This would also include any support of subsystems needed to assist the vendors with providing their solutions to the customer.
4. Periodic security audits to ensure proper files access and usage by employees.

5. Purchasing of any and all IT functions, hardware, software, etc., would need to be approved by ACNS or directly purchased by ACNS, excluding any governmental software packages required by the State for certain functions. ACNS provides competitive pricing for hardware, software, etc.

2. Items NOT Included in Services:

1. **Onsite service.** For this specific agreement, all helpdesk / remote support functions will be supported by ACNS. Anything that requires onsite service would be charged as outlined in section 2. If onsite service needs to be included, it can be quoted and this agreement amended at any time.

2. Charges.

Charges will be as follows to be billed monthly on or around the 1st of each month and will be on a NET30 terms policy:

- a. **\$ 97.00 per month per user. This includes the remote support agent as well as cyber security protection and patch/security management.**
- b. **\$150.00 per month per server. This includes remote support as well as cyber security protection and any maintenance needed.**
- c. **\$100.00 per month per site for network support. This includes network devices such as switches, firewalls, and/or wireless access points.**
- d. **Onsite services would be billed at \$175.00 per hour and would be pre-approved by a designated person before work is performed. This would include any onsite work not covered by projects or computer installations.**
- e. **Projects would be assigned a fixed fee and would be any one item of work 6 hours or more. Projects are pre-approved, budgeted and events are planned.**
- f. **Computer onboarding (new computers) would be billed a fixed fee of \$400.00. This would include purchasing (if needed), setup, configuration and completing the end user move of data.**
- g. **Computers that are NOT assigned to a user will be billed at \$36.00 per month per computer. This will cover cyber security services for that computer since it is attached to the network at customer site.**
- h. **Currently Mimecast is being used for email security. ACNS would either use this solution or propose to onboard the City to our security solution, which is Graphus. Either way, this would be billed at \$7 per month per mailbox to be protected.**
- i. **The client would be onboarded to our Security and Awareness Solution. This is included in this agreement.**
- j. **Image Based backups of servers would be billed at \$425.00 per month in the beginning. If data storage or the number of servers were to grow, the solution and/or pricing would be reviewed to support the additions.**
- k. **For Office 365, ACNS would transition services over to our CSP plan:**
 - a. **Office 365 Business Standard - \$15.00 per month per user.**
 - b. **Office 365 Business Basic - \$7.20 per month per user.**
 - c. **Office 365 Exchange Online Plan 1 - \$4.80 per month per user.**
 - d. **Office 365 Exchange Online Plan 2 - \$9.60 per month per user.**
 - e. **Any other plans needed for different uses would be quoted by ACNS and approved by the client.**

3. **Term of Service.** The term of this Agreement shall commence on October 1, 2025 and shall continue until September 30, 2026 and will be in full force or until terminated by either party upon at least (30) days prior written notice. Absent a termination notice, in no event (except breach) may this Agreement be terminated prior to September 30, 2026. Upon termination of this Agreement, the Consultants shall transfer and make available to the Customer all property and materials in Consultant's possession or subject to Consultant's control that are the rightful property of the Customer. The Consultant shall make every reasonable effort to secure all written

or descriptive matter which pertains to the Services or Work Product and agrees to provide reasonable cooperation to arrange for the transfer of all property, contracts, agreements, supplies and other third party interests, including those not then utilized, and all rights and claims thereto and therein. In the event of loss or destruction of any such material or descriptive matter, the Consultants shall immediately notify the Customer of the details of the loss or destruction in writing and provide the necessary information for a loss statement or other documentation to the Customer.

4. Ownership Rights. The Consultant shall have ownership to all Consultants' Materials. "Consultant's Material" consists of all copyrighted:

- (a) Materials that do not constitute Services or Work Product (as defined in Sect 1, Services, Specifications)
- (b) Materials that are solely owned by the Consultants or licensed to the Consultants.
- (c) Materials that are incorporated into the Work Product or a part of the Services.

Additional material shall include, but are not limited to:

Consultant shall hold all right, title, and interest in and to Consultant's Material. Customer shall not do anything that may infringe upon or in any way undermine Consultants' right, title, and interest in the Consultant's Material, as described in this Section 4. Notwithstanding the above, Consultant hereby grants Client an unrestricted, nonexclusive, perpetual, fully paid-up worldwide license for the use or for the sublicense of the use of Consultant's Material for the purpose of client's website and IT systems.

5. Compensation. For all of Consultants' services under this Agreement, Customer shall compensate Consultants, in cash, pursuant to the terms of Section 2. In the event Customer fails to make any of the payments referenced in Section 2 by the deadline set forth in Section 2, Consultants have the right, but are not obligated, to pursue any or all of the following remedies: (1) terminate the Agreement (breach), (2) immediately stop all services, (3) bring legal action.

6. Mutual Confidentiality. Customer and Consultants acknowledge and agree that the Specifications and all other documents and information related to the performance, production, creation or any expression of the services or work product are the property of the Customer. Materials provided between Consultants and Customer (the "Confidential Information") including, but not limited to, documentation, product specifications, drawings, pictures, photographs, charts, correspondence, supplier lists, financial reports, analyses and other furnished property shall be the exclusive property of the respected owner (the "Owning Party") and will constitute valuable trade secrets. Both parties shall keep the Confidential Information in confidence and shall not, at any time during or after the term of this Agreement, without prior written consent from the owning party, disclose or otherwise make available to anyone, either directly or indirectly, all or any part of the Confidential Information.

By virtue of this Agreement, the parties may have access to information that is confidential to one another ("Confidential Information"). The Customer is a local government of the State of Georgia and is subject to the Open Records Act, O.C.G.A. § 50-18-70, et. seq. ("ORA"). The Open Records Act requires disclosure of contracts, communications, data, and other records, in any format, including electronic formats, except as provided under the Act. Confidential Information

required to be kept private under any federal or state law, including income tax information, is exempted in most circumstances as are trade secrets. Contract pricing information, general terms and conditions are not protected from disclosure. Consultants may specify to Customer any trade secret or other private information it believes protected under the ORA at the time the information is submitted to Customer. In all circumstances, Customer shall comply with the ORA for records related to Consultants which have been marked as Confidential. Consultants may exercise its rights under the ORA to petition the Superior Court for protection from disclosure. Excluded from the "Confidential Information" definition is anything that can be seen by the public or had been previously made available by the owning party in a public venue.

7. Limited Warranty and Limitation on Damages. Consultants warrant the Services or Work Product(s) will conform to the Specifications. If the Services or Work product do not conform to the Specifications, Consultants shall be responsible to correct the Services or Work Product without unreasonable delay, at Consultants' sole expense and without charge to Customer, to bring the Services or Work Product into conformance with the Specifications. This warranty shall be the exclusive warranty available to the Customer. Customer waives any other warranty, express or implied. Customer acknowledges that Consultants are not responsible for the results obtained by the Customer when using any Services or Work Product produced by Consultants. Customer waives any claim for damages, direct or indirect, and agrees that its sole and exclusive remedy for damages (either in contract or tort) is the return of the consideration paid to Consultants as set forth in Section 2. No action, regardless of form, arising out of the Services rendered or Work Product, under the Agreement, may be brought by either party more than one year after the cause of action has occurred. In no event shall Consultants be held liable for consequential damages.

8. Independent Contractor. Consultants are retained as independent contractors. Consultants will be fully responsible for payment of their own income taxes on all compensation earned under this Agreement. Customer will not withhold or pay any income tax, social security tax, or any other payroll taxes on Consultants' behalf. Consultants understand that they will not be entitled to any fringe benefits that Customer provides for its employees generally or to any statutory employment benefits, including without limitation worker's compensation or unemployment insurance.

9. Insurance. The Consultants shall maintain general liability insurance throughout the entire term of this Agreement, in at least \$1,000,000.00 coverage limits providing against liability for bodily injury, death and property damage that may arise out of or based upon any act or omission of the Consultants or any of its employees, agents or subcontractors under this Agreement. Upon written request, the Consultants shall provide certificates from its insurers indicating the amount of insurance coverage, the nature of such coverage and the expiration date of each applicable policy. Consultants shall name Customer as an additional insured, on any public liability policy.

10. Equipment. Customer agrees to make available to Consultants, for Consultants' use in performing the services required by this Agreement, such items of hardware and software as Customer and Consultants may agree are reasonably necessary for such purpose.

Customer agrees to make the following equipment and/or services available to Consultants

(a) **Any Unknown Passwords or Accounts (ISP, Recently Configured Equipment)**

(b) **Any Software CD's installed on Supported Computers or Servers**

(c) **Support Numbers for Hardware, Software or Internet Connection Support (ISP)**

10.1 Expenses. Consultants will not be reimbursed for any expenses incurred in connection with the Services or Work Product, whether direct or indirect, without the express written approval of the Customer.

11. General Provisions

11.1 Entire Agreement. This Agreement contains the entire agreement between the parties relating to the subject matter hereof and supersedes any and all prior agreements or understandings, written or oral, between the parties related to the subject matter hereof. No modification of this Agreement shall be valid unless made in writing and signed by both of the parties hereto.

11.2 Governing Law. This Agreement shall be governed by and construed in accordance with the laws of the State of Georgia. Exclusive jurisdiction and venue shall be in Dawson County, Georgia Superior Courts.

11.3 Binding Effect. This Agreement shall be binding upon and inure to the benefit of Customer and Consultants and their respective successors and assigns, provided that Consultants may not assign any of his obligations under this Agreement without Customer's prior written consent.

11.4 Waiver. The waiver by either party of any breach or failure to enforce any of the terms and conditions of this Agreement at any time shall not in any way affect, limit, or waive such party's right thereafter to enforce and compel strict compliance with every term and condition of this Agreement.

11.5 Good Faith. Each party represents and warrants to the other that such party has acted in good faith, and agrees to continue to so act, in the negotiation, execution, delivery, performance, and any termination of this Agreement.

11.6 No Right to Assign. Consultants have no right to assign, sell, modify or otherwise alter this agreement, except upon the express written advance approval of Customer, which consent can be withheld for any reason. Client may freely assign its rights and obligations under this agreement.

11.7 Payments. In the event Customer fails to make any of the payments set forth in Section 2 within the time prescribed in Section 2, Consultants have the right to withhold Services, remove work product from Consultant owned resources, or seek legal remedy until payment in full is paid, plus accrued late charges of 1 ½% per month. **Late charges would be assessed at the 1st of the next month if an invoice is not paid in the month it is due.**

11.8 Indemnification. Customer warrants that everything it gives Consultants in the execution or performance of services, or the creation of any and all Work Product is legally owned or licensed to Customer. To the extent allowed by Georgia Law, Customer agrees to indemnify and hold Consultants harmless from any and all claims brought by any third party relating to any aspect of the Services or Work Product, including, but without limitation, any and all demands, liabilities, losses, costs and claims including attorney's fees arising out of injury caused by Customer's products/services, material supplied by Customer or copyright infringement.

11.9 Use of Descriptions of Services or Work Product for Promotional Purposes. Customer grants Consultants the right to use descriptive text, testimonials, performance metrics, and other images, photos and/or graphics that demonstrate the Services or Work Product for promotional purposes and/or to cross-link it with other promotional resources developed by Consultants.

11.10 No Responsibility for Theft. Consultants have no responsibility for any third party taking all or any part of the Services or Work Product, results of Services or Work Performed, or the improper use of any Services or Work Product produced by Consultants by any third party.

11.11 **Right to Make Derivative Works.** Consultants have the exclusive rights in making any derivative works of any Services, Methodology, or Work Product.

11.12 **Attorney's Fees.** In the event any party to this Agreement employs an attorney to enforce any of the terms of the Agreement, the prevailing party shall be entitled to recover its actual attorney's fees and costs, including expert witness fees.

11.13 **No responsibility for loss.** Consultants are not responsible for any down time, lost files, equipment failures, acts of nature, or any damage resultant from activities considered beyond the control of the consultants such as war, riots, natural disasters, vandalism and other events.

Each party represents and warrants that, on the date first written above, that they are authorized to enter into this agreement in entirety and duly bind their respective principals by their signature below:

EXECUTED as of the date first written above

Approved as to form:

By: _____
City Attorney

CUSTOMER

City of Dawsonville

By: _____

Title: _____

Date signed: _____

Attest:

By: _____
City Clerk

CONSULTANTS

By: _____

Title: _____

Date signed: _____



DAWSONVILLE CITY COUNCIL EXECUTIVE SUMMARY FOR AGENDA ITEM # 15

SUBJECT: **CONSIDERATION FOR DOOR INSTALLATION BETWEEN GRANDDADDY
MIMMS, DAWSONVILLE HISTORY MUSEUM AND STATION HOUSE**

CITY COUNCIL MEETING DATE: 09/22/2025

BUDGET INFORMATION: GL ACCOUNT # _____

☐ Funds Available from: _____ Annual Budget _____ Capital Budget Other _____

☐ Budget Amendment Request from Reserve: _____ Enterprise Fund _____ General Fund

PURPOSE FOR REQUEST:

TO REQUEST APPROVAL

HISTORY/ FACTS / ISSUES:

CINDY ELLIOTT HAS GIVEN VERBAL APPROVAL. CINDY WILL BE AVAILABLE FOR QUESTIONS.

MARLO WITH STATION HOUSE HAS GIVEN VERBAL APPROVAL.

MEGAN WITH GRANDDADDY MIMMS NEEDS TO GET APPROVAL FROM 4 OTHER PEOPLE, INCLUDING THEIR LAWYER BEFORE THEIR APPROVAL IS GIVEN.

OPTIONS:

RECOMMENDED SAMPLE MOTION:

REQUESTED BY: Trampas Hansard, Public Works Director

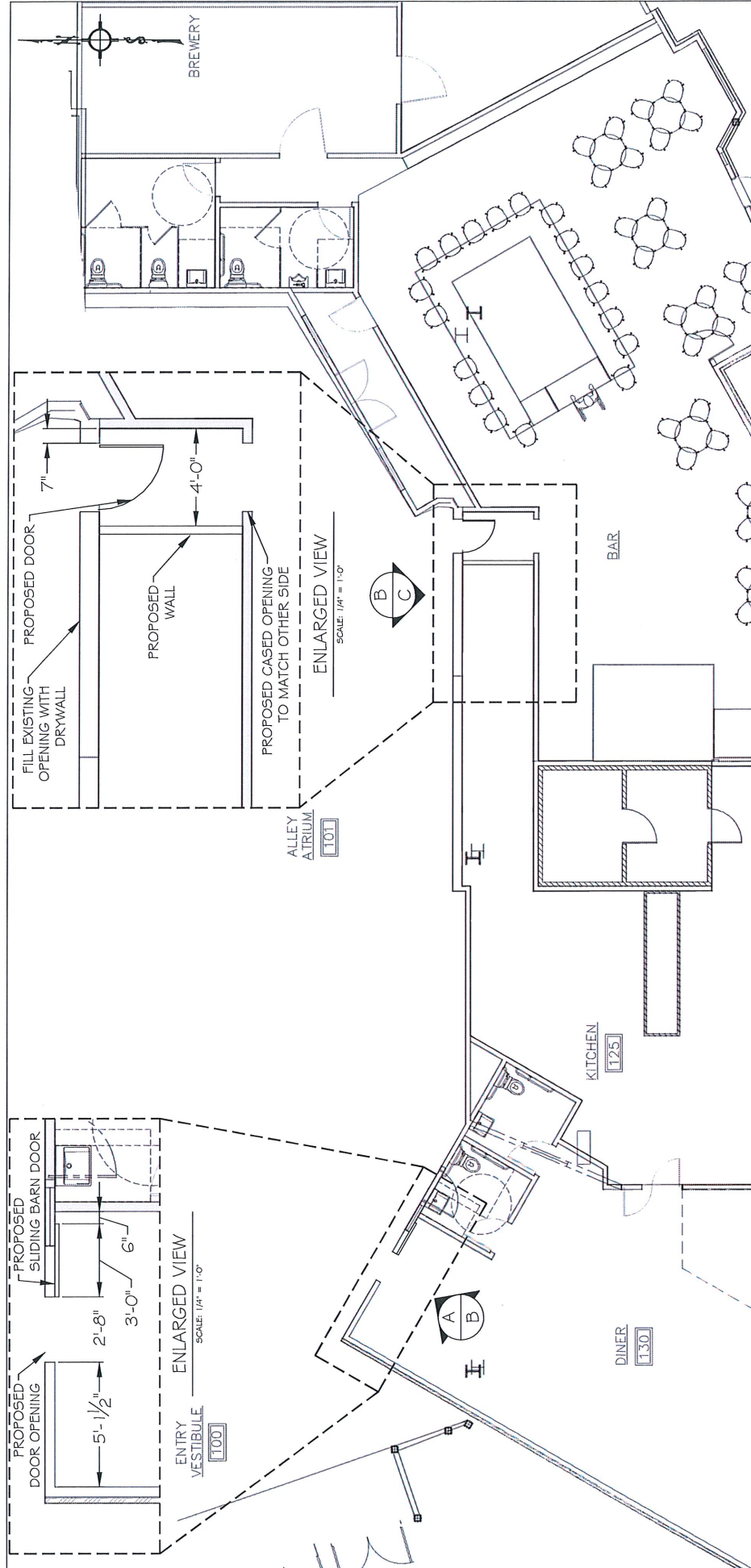


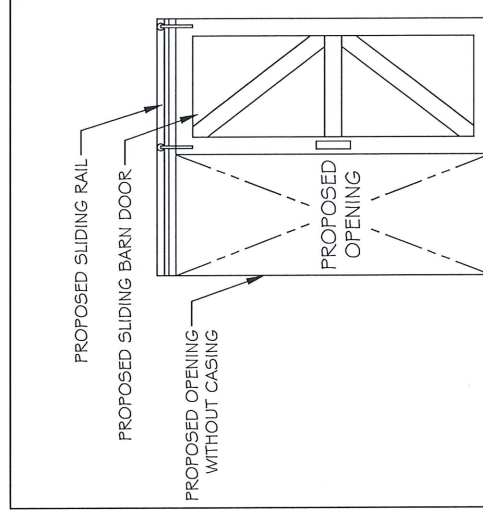
EXHIBIT A: DOOR MODIFICATIONS TOP PLAN

SCALE: 1/8" = 1'-0"
9/16/2025

BFIELD ENGINEERING, LLC
4180 Providence Road,
Suite 325
Marietta, GA 30062
Phone: (678) 650-0732




CITY OF DAWSONVILLE, GEORGIA
CITY HALL IMPROVEMENTS

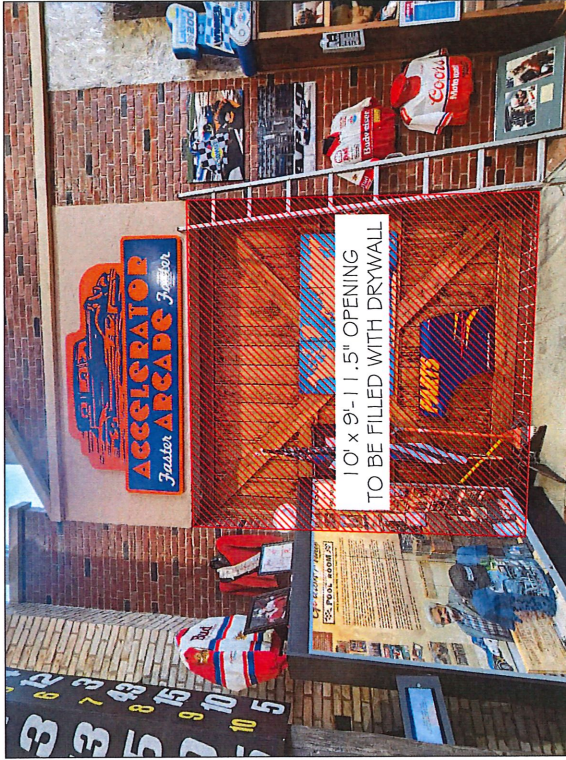


ELEVATION VIEW A
SCALE: 3/8" = 1'-0"

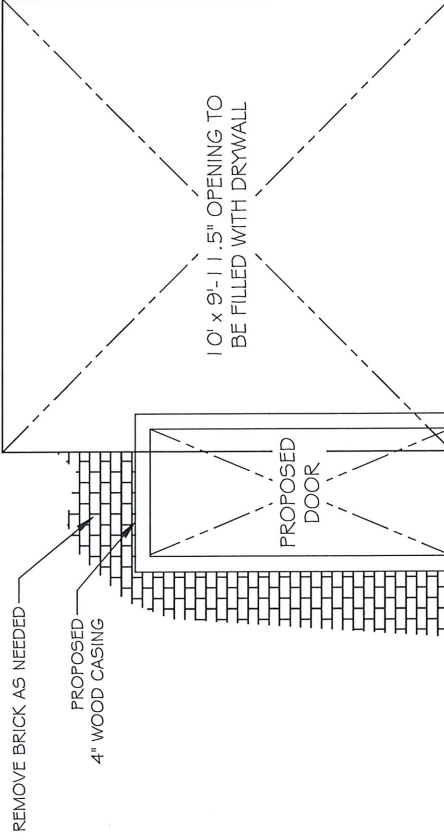
EXHIBIT B:
DOOR MODIFICATION
ELEVATION A
SCALE: 3/8" = 1'-0"
9/16/2025

 BFIELD ENGINEERING, LLC
4180 Providence Road,
Suite 325
Maretta, GA 30062
Phone: (678) 650-0732

CITY OF DAWSONVILLE, GEORGIA
CITY HALL IMPROVEMENTS



10' x 9'-11.5" OPENING
TO BE FILLED WITH DRYWALL



ELEVATION VIEW
SCALE: 3/8" = 1'-0"

EXHIBIT C:
DOOR MODIFICATION
ELEVATION B
SCALE: 3/8" = 1'-0"
9/16/2025

BFIELD ENGINEERING, LLC
4180 Providence Road,
Suite 325
Marietta, GA 30062
Phone: (678) 650-0732



CITY OF DAWSONVILLE, GEORGIA
CITY HALL IMPROVEMENTS



**DAWSONVILLE CITY COUNCIL
EXECUTIVE SUMMARY FOR
AGENDA ITEM # 16**

SUBJECT: 2026 MEETING CALENDAR

CITY COUNCIL MEETING DATE: 09/22/2025

BUDGET INFORMATION: GL ACCOUNT # NA

☐ Funds Available from: Annual Budget Capital Budget Other

☐ Budget Amendment Request from Reserve: Enterprise Fund General Fund

PURPOSE FOR REQUEST:

TO REVIEW AND DISCUSS THE DRAFT OF THE 2026 CITY MEETINGS CALENDAR

HISTORY/ FACTS / ISSUES:

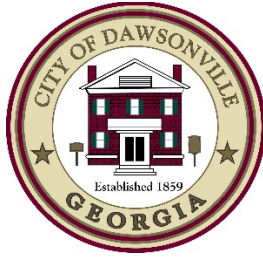
CERTAIN DATES NEED TO BE CLARIFIED AS OUTLINED IN THE ATTACHED MEMO

OPTIONS:

**APPROVE IF DATES ARE CLARIFIED OR APPROVE FINAL MEETING CALENDAR AT THE
OCTOBER 20, 2025 CITY COUNCIL MEETING**

RECOMMENDED SAMPLE MOTION:

REQUESTED BY: Beverly Banister, City Clerk



CITY OF DAWSONVILLE
CITY CLERK'S OFFICE
415 Hwy 53 E • Suite 100
Dawsonville, GA 30534
beverly.banister@dawsonville-ga.gov
(706) 265-3256

Meeting times:

City Council	5:00 pm
Planning Commission	5:30 pm
Historic Preservation Commission	5:30 pm
Downtown Development Authority	5:30 pm

Dates of special note:

January Meeting – Which day would Council prefer to hold a meeting in January?

We have historically held only one meeting in January in prior years and typically on a Thursday due to City Hall closures for the New Year and the MLK holiday.

Monday, February 16, 2026 – Does the Council want to schedule a meeting on Monday, February 16, 2026?

This is President's Day. The City is open but the schools are closed.

April 2026 – One meeting scheduled in April due to DC Schools Spring break.

Monday, July 6, 2026 – Does the Council want to schedule a meeting on July 6, 2026 following the 4th of July weekend?

Historically, the City has not held a meeting around the 4th of July weekend.

September 2026 – One meeting scheduled in September due to Labor Day holiday.

October 2026 – One meeting scheduled due to DC Schools Fall Break occurring on Monday, October 5, 2026. Note: This is typically their fall break schedule but their calendar is not online yet.

December 2026 – Does the Council want to schedule a meeting on Monday, December 21, 2026 which is the week of Christmas?

DDA – Meetings scheduled during May and November have been moved from a Monday to a Thursday to accommodate for holidays.

HPC – Meeting in December changed from a Monday to a Thursday to accommodate for holidays.

January 2026

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
			December 31, 2025 City Hall Closed	1 City Hall Closed	2	3
4	5 Hold City Council Meeting?	6	7	8 Hold City Council Meeting?	9	10
11	12 Planning Commission 5:30 pm	13	14	15 Hold City Council Meeting?	16	17
18	19 City Hall Closed MLK Day	20	21	22	23	24
25	26 DDA 5:30 pm	27	28	29	30	31

February 2026

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
1	2 City Council 5:00 pm	3	4	5	6	7
8	9 Planning Commission 5:30 pm	10	11	12	13	14
15	16 President's Day DC Schools Closed Hold City Council Meeting?	17 DC Schools Closed	18	19	20	21
22	23 HPC 5:30 pm	24	25	26	27	28

March 2026

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
1	2 City Council 5:00 pm	3	4	5	6	7
8	9 Planning Commission 5:30 pm	10	11	12	13	14
15	16 City Council 5:00 pm	17	18	19	20	21
22	23 DDA 5:30 pm	24	25	26	27	28
29	30	31				

April 2026

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
			1	2	3 City Hall Closed Good Friday	4
5 Easter Sunday	6 DC Schools Closed	7 DC Schools Closed	8 DC Schools Closed	9 DC Schools Closed	10 DC Schools Closed	11
12	13 Planning Commission 5:30 pm	14	15	16	17	18
19	20 City Council 5:00 pm	21	22	23	24	25
26	27 HPC 5:30 pm	28	29	30		

May 2026

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
					1	2
3	4 City Council 5:00 pm	5	6	7 DDA 5:30 pm	8	9
10	11 Planning Commission 5:30 pm	12	13	14	15	16
17	18 City Council 5:00 pm	19	20	21	22	23
24	25 City Hall Closed Memorial Day	26	27	28	29	30
31						

June 2026

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
	1 City Council 5:00 pm	2	3	4	5	6
7	8 Planning Commission 5:30 pm	9	10	11	12	13
14	15 City Council 5:00 pm	16	17	18	19	20
21	22 HPC 5:30 pm	23	24	25	26	27
28	29	30				

July 2026

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
			1	2	3 City Hall Closed In observance of July 4 th Holiday	4
5	6 Hold City Council Meeting?	7	8	9	10	11
12	13 Planning Commission 5:30 pm	14	15	16	17	18
19	20 City Council 5:00 pm	21	22	23	24	25
26	27 DDA 5:30 pm	28	29	30	31	

August 2026

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
						1
2	3 City Council 5:00 pm	4	5	6	7	8
9	10 Planning Commission 5:30 pm	11	12	13	14	15
16	17 City Council 5:00 pm	18	19	20	21	22
23	24 HPC 5:30 pm	25	26	27	28	29
30	31					

September 2026

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
		1	2	3	4	5
6	7 City Hall Closed Labor Day	8	9	10	11	12
13	14 Planning Commission 5:30 pm	15	16	17	18	19
20	21 City Council 5:00 pm	22	23	24	25	26
27	28 DDA 5:30 pm	29	30			

October 2026

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
				1	2	3
4	5 DC Schools Closed? Hold City Council Meeting?	6 DC Schools Closed?	7 DC Schools Closed?	8	9	10
11	12 Planning Commission 5:30 pm	13	14	15	16	17
18	19 City Council 5:00 pm	20	21	22	23 City Hall Closed Moonshine Festival	24
25	26 HPC 5:30 pm	27	28	29	30	31

November 2026

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
1	2 City Council 5:00 pm	3	4	5 DDA 5:30	6	7
8	9 Planning Commission 5:30 pm	10	11 City Hall Closed Veteran's Day	12	13	14
15	16 City Council 5:30 pm	17	18	19	20	21
22	23	24	25	26 City Hall Closed Thanksgiving	27 City Hall Closed Thanksgiving	28
29	30					

December 2026

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
		1	2	3 HPC 5:30 pm	4	5
6	7 City Council 5:00 pm	8	9	10	11	12
13	14 Planning Commission 5:30 pm	15	16	17	18	19
20	21 Hold City Council Meeting?	22	23	24 City Hall Closed Christmas Eve	25 City Hall Closed Christmas Day	26
27	28	29	30	31 City Hall Closed New Year's Eve		



DAWSONVILLE CITY COUNCIL EXECUTIVE SUMMARY FOR AGENDA ITEM # 17

SUBJECT: _____ **STAFF REPORT: CITY MANAGER** _____

CITY COUNCIL MEETING DATE: 09/22/2025

BUDGET INFORMATION: GL ACCOUNT # _____ NA _____

☐ Funds Available from: _____ Annual Budget _____ Capital Budget Other _____

☐ Budget Amendment Request from Reserve: _____ Enterprise Fund _____ General Fund

PURPOSE FOR REQUEST:

TO PROVIDE CITY UPDATES

HISTORY/ FACTS / ISSUES:

SEE ATTACHED OUTLINE

OPTIONS:

RECOMMENDED SAMPLE MOTION:

REQUESTED BY: Jacob Evans, City Manager

Ad Edge Filter System: A second quote has been requested. Base drawings were submitted to the engineer this week. According to Environmental Owner Mike Sams, "This is taking a moment but bear with us as we are working on getting something as quickly as possible, just crossing all dots.

New Shelter & Restroom: Completed and open. Plus, it is now available for reservations. A new 8ft concrete walkway was poured this week going directly to that pavilion. Picnic tables made and placed in pavilions. Dirt was hauled off from that area as well.

Trail from Dog Park to Stonewall Subdivision: Staff met with Jackie Townley this week. Townley will be preparing two quotes: 1) A mulch trail – does not need to be ADA accessible. 2) A concrete sidewalk – does need to be ADA accessible. This will be a much more expensive option.

City Dog Park: We have had several instances where various users of the dog park were leaving the water on at the spigot, thus flooding certain areas. To help alleviate that issue, staff put pea gravel out in certain areas of each dog pin. Staff is also currently looking at different water fountains to install.

McDonald's: Construction still underway. We are being told they will now be completed in less than two weeks.

WWTP Bid Documents: These documents have been signed which brings us one step closer to construction starting.

GMA Visionary City: Staff has started this process.

Concerts at Mainstreet Park: Our second concert is scheduled for September 27th. Alex Young and Friends will be the main event.

Special Events, 2025 Food Truck Night & Christmas Event Dates: The next Food Truck Friday is October 10th. Our Christmas Tree Lighting, Parade, Jingle Market, Santa, entertainment, and food trucks will be on November 22nd. Lastly our Amicalola Regional Farmer's Market is continuing each Saturday.

Master Plan: The City has not officially adopted its Master Plan. Staff would like to bring this to your attention so we can begin the adoption process. If updates to the plan are needed, we can address those as part of the process. Our goal is to move forward with formally adopting the Master Plan.

Work Toward Long-Range Plan Adoption: Staff and elected officials seek to work together to adopt the Downtown Dawsonville Comprehensive Strategic Plan, including within this document the future town center Master Plan and Implementation Plan or adapt the plans and amend accordingly to meet leadership approval for adoption.

Redevelopment Powers: (OCGA 36-44) Staff is recommending to start discussing with Kevin the process to obtain Redevelopment Powers for the City, by developing an Urban Redevelopment Plan establishing a Redevelopment Agency (which can include Council), for the purpose of initiating targeted redevelopment and revitalization of blighted areas. This requires approval from our local GA delegation. Redevelopment powers are necessary if the City later chooses to explore a TAD (Tax Allocation District) as one of our funding tools, for which a referendum vote would be required.

Cannery with Retail Storefront & Educational Spaces (Agribusiness & Agritourism Economic Development Project): – GA Tech Feasibility study is ending. A stakeholder meeting to discuss this project with potential collaborators is in the works.

RFP for Information Technology Services: Staff has decided. A recommendation will be made on September 22nd Meeting.

Leak Adjustments - We had one leak adjustment for the month

- Water: \$32.60
- Sewer: \$49.19
- Total: \$81.79



DAWSONVILLE CITY COUNCIL EXECUTIVE SUMMARY FOR AGENDA ITEM # 18

SUBJECT: STAFF REPORT: FINANCE DIRECTOR

CITY COUNCIL MEETING DATE: 09/22/2025

BUDGET INFORMATION: GL ACCOUNT # NA

☐ Funds Available from: Annual Budget Capital Budget Other

☐ Budget Amendment Request from Reserve: Enterprise Fund General Fund

PURPOSE FOR REQUEST:

FINANCIAL REPORTS REFLECTING FUND BALANCES AND ACTIVITY THROUGH AUGUST 31, 2025 ARE ATTACHED

HISTORY/ FACTS / ISSUES:

OPTIONS:

RECOMMENDED SAMPLE MOTION:

REQUESTED BY: Robin Gazaway, Finance Director

CITY OF DAWSONVILLE, GEORGIA
GENERAL FUND
July 1, 2025 -August 31, 2025

17%

	Budget	Actual	Percentage
REVENUES			
Taxes	\$ 2,719,400	\$ 399,579	14.69%
Licenses and permits	91,500	36,476	39.86%
Intergovernmental revenues	56,300	-	0.00%
Fees	339,035	62,543	18.45%
Other	270,151	58,496	21.65%
Total revenues	3,476,386	557,094	16.03%
EXPENDITURES			
Department:			
Council	167,620	27,620	16.48%
Mayor	63,700	11,134	17.48%
Elections	20,000	-	0.00%
Administration	1,127,000	174,204	15.46%
City Hall building	246,500	37,547	15.23%
Animal control	2,000	100	5.00%
Roads	899,500	115,288	12.82%
Parks	134,000	7,533	5.62%
Planning and zoning	574,922	57,110	9.93%
Economic development	241,144	32,422	13.45%
Total expenditures	3,476,386	462,958	13.32%
TOTAL REVENUES OVER EXPENDITURES		94,136	
Transfer in From Reserves		(94,136)	
NET CHANGE IN FUND BALANCE		0	

CITY OF DAWSONVILLE, GEORGIA
WATER, SEWER, AND GARBAGE FUND
July 1, 2025 - August 31, 2025

	<u>Budget</u>	<u>Actual</u>	<u>Percentage</u>
REVENUES			
Water fees	\$ 1,000,000	\$ 181,252	18.13%
Sewer fees	1,400,000	259,505	18.54%
Garbage fees	250,000	61,160	24.46%
Miscellaneous	<u>198,328</u>	<u>11,155</u>	<u>5.62%</u>
Total revenues	<u>2,848,328</u>	<u>513,072</u>	<u>18.01%</u>
EXPENDITURES			
Depreciation	633,000	111,254	17.58%
Garbage service	325,200	47,568	14.63%
Group insurance	236,000	29,721	12.59%
Insurance	600	-	0.00%
Interest	77,000	9,637	12.52%
Payroll taxes	32,700	5,369	16.42%
Professional	206,000	17,380	8.44%
Miscellaneous	217,200	14,671	6.75%
Repairs/supplies	305,000	37,537	12.31%
Retirement	33,000	6,777	20.54%
Salaries	422,628	69,337	16.41%
Overtime		2,471	
Technical services	142,000	17,016	11.98%
Utilities	<u>218,000</u>	<u>20,008</u>	<u>9.18%</u>
Total expenditures	<u>2,848,328</u>	<u>388,746</u>	<u>13.65%</u>
INCOME (LOSS)		<u><u>124,326</u></u>	

CITY OF DAWSONVILLE, GEORGIA

SPLOST VI

July 1, 2025 - August 31, 2025

SPLOST VI

	<u>Budget</u>	<u>Actual</u>	<u>Percentage</u>
REVENUES			
Taxes	-	-	#DIV/0!
Interest	972	111	11.42%
Other	<u>8,028</u>	<u>-</u>	<u>0.00%</u>
Total revenues	<u>9,000</u>	<u>111</u>	<u>1.23%</u>
EXPENDITURES (Capital Outlays)			
City hall acquisition	-	-	#DIV/0!
Roads and sidewalks	-	-	#DIV/0!
Public works equipment - roads	-	-	0.00%
Sewer projects	-	-	0.00%
Public works equipment - sewer	-	-	0.00%
Water projects	-	-	0.00%
Public works equipment - water	-	-	0.00%
Farmers market	9,000	1,500	16.67%
Parks and recreation	<u>-</u>	<u>-</u>	<u>0.00%</u>
Total expenditures	<u>9,000</u>	<u>1,500</u>	<u>16.67%</u>
TOTAL REVENUES OVER EXPENDITURES		(1,389)	
Transfer in From Reserves		<u>1,389</u>	
NET CHANGE IN FUND BALANCE		<u><u>-</u></u>	

CITY OF DAWSONVILLE, GEORGIA

SPLOST VII

July 1, 2025 - August 31, 2025

SPLOST VII

	<u>Budget</u>	<u>Actual</u>	<u>Percentage</u>
REVENUES			
Taxes	1,300,000	288,012	22.15%
Interest	84,000	16,836	20.04%
Other	<u>1,200,000</u>	<u>-</u>	<u>0.00%</u>
Total revenues	<u>2,584,000</u>	<u>304,848</u>	<u>11.80%</u>
EXPENDITURES (Capital Outlays)			
City hall acquisition	200,000	-	0.00%
Roads and sidewalks	2,384,000	-	0.00%
Public works equipment - roads	-	-	0.00%
Land Acq. / Downtown	-	-	0.00%
Public works equipment - sewer	-	-	0.00%
Water projects/Sewer Projects	-	-	0.00%
Public works equipment - water	-	-	0.00%
Farmers market	-	-	#DIV/0!
Parks and recreation	<u>-</u>	<u>-</u>	<u>0.00%</u>
Total expenditures	<u>2,584,000</u>	<u>-</u>	<u>0.00%</u>
TOTAL REVENUES OVER EXPENDITURES		304,848	
Transfer in From Reserves		<u>(304,848)</u>	
NET CHANGE IN FUND BALANCE		<u><u>-</u></u>	

CITY OF DAWSONVILLE, GEORGIA

TSPLOST

July 1, 2025 - August 31, 2025

TSPLOST

	<u>Budget</u>	<u>Actual</u>	<u>Percentage</u>
REVENUES			
Taxes	685,000	111,055	16.21%
Interest	2,500	1,901	76.04%
Other	<u>-</u>	<u>-</u>	<u>0.00%</u>
Total revenues	<u>687,500</u>	<u>112,956</u>	<u>16.43%</u>
EXPENDITURES (Capital Outlays)			
	-	-	#DIV/0!
Roads	687,500	308,042	44.81%
	-	-	0.00%
	-	-	0.00%
	-	-	0.00%
	-	-	0.00%
	-	-	0.00%
	-	-	#DIV/0!
	<u>-</u>	<u>-</u>	<u>0.00%</u>
Total expenditures	<u>687,500</u>	<u>308,042</u>	<u>44.81%</u>
TOTAL REVENUES OVER EXPENDITURES		(195,086)	
Transfer in From Reserves		<u>195,086</u>	
NET CHANGE IN FUND BALANCE		<u><u>-</u></u>	