

MINUTES
PLANNING COMMISSION REGULAR MEETING
G.L. Gilleland Council Chambers on 2nd Floor
Monday, August 14, 2023

1. **CALL TO ORDER:** Chairperson Randy Davis called the meeting to order at 5:30 p.m.
2. **ROLL CALL:** Present were Planning Commission Members, Sandy Sawyer, Alexis Noggle, Anna Tobolski, City Attorney Kevin Tallant, Councilmember Liaison Caleb Phillips, Councilmember John Walden, City Manager Bob Bolz, Planning Director Jameson Kinley, Zoning Administrative Assistant Stacy Harris, Building Inspector Clay Moss. Josh Nichols was absent from the meeting.
3. **INVOCATION AND PLEDGE:** City Manager Bob Bolz led the invocation and pledge.
4. **ANNOUNCEMENTS:** None
5. **APPROVAL OF THE AGENDA:** Motion to approve the agenda made by A. Noggle; second by A. Tobolski. Vote carried unanimously in favor.
6. **APPROVAL OF THE MINUTES:** Motion to approve the regular meeting minutes held on Monday, July 10, 2023, made by S. Sawyer; second by A. Noggle. Vote carried unanimously in favor.

PUBLIC HEARING

7. **ZSP C230063:** Atlanta Motorsports Park, LLC has petitioned to amend the current site plan and current stipulations; located at 20 Duck Thurmond Road (TMP 070 049 001). Public Hearing Dates: Planning Commission on Monday, August 14, 2023, and City Council on Monday, August 21, 2023. City Council for a decision on September 18, 2023.

Chairperson Davis read the zoning site plan request and conducted the public hearing. Motion to open the public hearing made by A. Tobolski; second by A. Noggle. Vote carried unanimously in favor.

Planning Director J. Kinley provided the staff analysis report with the request to amend the site plan and the current stipulations.

The following person spoke in favor of the zoning request:

- Joey Homans, 272 Hwy 9 South, Dawsonville, GA, – Mr. Homans stated that he is representing Atlanta Motorsports Park / Jeremy Porter and he wanted to first adopt and incorporate by reference the presentation that Atlanta Motorsports Park presented at the June 12, 2023. Planning Commission meeting in the interest of time. Mr. Homans stated he and his client listened to the public comments and met with staff to discuss the items brought forth. He stated that his client submitted a Development Regional Impact (DRI) application and an amended letter of intent. Mr. Homans stated he is requesting the following modifications in the recommendations for conditions of approval:
 - i. Condition # 20, the site plan date is incorrect, and the corrected date is May 30, 2023
 - ii. Condition # 17, sound limits being approved from 98 DBA to 101 DBA and from 63 DBA to 65 DBA and a request for the opportunity for the City Council to vote to reduce those back at some point in the future. His client will agree to that if he is entitled to a hearing about why the sound needs to be reduced to that and have that opportunity to come address that before City Council.
 - iii. The site plan serves as a purpose for the Atlanta Motorsports Park, from the cottages, condos, and lighting of the Go-Kart Track.

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In closing, Mr. Homan and AMP asked the Planning Commission members to approve these conditions with the modifications requested.

- Jeremy Porter, 20 Duck Thurmond Rd, Dawsonville, GA – Mr. Porter stated that after he spoke with some of the Planning Commission members, he went back and modified what he could, based on their feedback. These modifications included:
 - i. hours of the Go-Kart Track limited to GA Dept of Labor rules
 - ii. change the LED billboard sign to a regular sign
 - iii. (4) four open sound limit race weekends, he agreed to (2) two open sound limit race weekends
 - iv. change the covenants on the rental of the cottages/condos to 25%
 - v. increase sound limits from 98 to 101 DBA track level and 63 to 65 DBA property line and if the increased sound does not work with the community/city, then take it back to the original sound limits of 98 DBA track level and 63 DBA property line.

Mr. Porter asked that the Planning Commission members consider 13 years of actions in this business of the Atlanta Motorsports Park's impact on the community. He stated that they are one of the largest employers in the city and have multiple businesses underneath the City. The taxable revenue on the condos does not tax the fire and ambulance department. He stated that they maintain their own water and sewer department and paved their own roadways.

The following person spoke in opposition of the request:

- Karl Stalnaker, 135 Duck Thurmond Rd, Dawsonville, GA 30534 – Mr. Stalnaker had questions regarding the placement and material of the sign and why there was not any further investigation into bringing a sound expert to give more information. He also asked, had there been any thought about other access to the racetrack other than off of Duck Thurmond Road.
- Richard Wingate, 683 Duck Thurmond Rd, Dawsonville, GA 30534 – Mr. Wingate stated that he was here on behalf of Dr. Wes and Helen Hamryka. He stated that the Hamryka's are not absolutely opposed to these modifications, but they do have concerns and would like those concerns addressed and on the record. As to what is proposed, they are not against the additional lighting if it meets code. The ability to conduct noiseless events on the track during off-peak hours for military and police purposes is thoroughly undefined. Needs to be addressed. They were fully against the two (2) race weekends with unlimited sound levels. The adding of elevated parking decks that are visible from the outside seems to be out of harmony with the community and they are against. As to the PA system and the increase sound levels at the track and at the buffers, they are absolutely opposed to.
- Renee Duren, 2602 Sweetwater Juno Rd, Dawsonville, GA – Ms. Duren stated concerns around the extended hours for go-karts and the proposed update to stipulation 1(i). She believed this was part of a plan to operate a restaurant, brewery, and distillery. Mr. Porter was interviewed by Biz Now, following the DRI process. In that article dated July 10, 2023, Mr. Porter announced plans that included a restaurant, brewery, and distillery, as well as an underground shooting range at AMP. Ms. Duren also stated that an application to register a business under Fuel Kitchen was listed in the legal section on Dawson News. Under the existing stipulation 15, it restricts hours of on-track activity as well as operation

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in general. With that, brings the updated proposed stipulation 1(i), which grants approval of changes and principal use without the City Council. Restaurants, breweries, and distilleries are not permitted uses in zoning CIR currently and is not included in this list of requests. Also, an article in Smoke Signals from Big Canoe stated that it will open this month. She stated that she spoke with the health department today and the construction permit has already been applied for. Her concern was when you cut out City Council, you cut out public hearings, and a principal use is something that she believed should be decided by City Council.

- Tom Victor, 48 Victor Drive, Dawsonville, GA – Mr. Victor stated that he lives one mile and three tenths from the racetrack, and he would like to play a video that he made on his back porch when AMP had a special event. Chairperson Davis asked City Attorney K. Tallant if that was allowed. City Attorney K. Tallant said it was allowed. Mr. Victor played the video. In the video you could hear what appears to be car sounds. Mr. Victor stated that this goes on all day long and they take short breaks. This is a nuisance.
- Doris Adams, 440 High Hope Farm Road, Dawsonville, GA – Ms. Adams stated she lives approximately three miles from the racetrack. She stated that the sound does not stay contained inside of the racetrack and it jumps over the barriers. Ms. Adams also asked the question “Where is the wildlife”.

Motion to extend the public hearing by 10 minutes was made by A. Tobolski; second by A. Noggle. Vote carried unanimously in favor.

- Natosha Beary, 2555 Sweetwater Juno Road, Dawsonville, GA – Ms. Beary stated that she called Councilmember Phillips and discussed with him that noise before 8:00 a.m. According to Councilmember Phillips, there were 14 violations that day. She further stated that the AMP is technically annexed into the city. The impact of surrounding properties is not in the city, and they didn’t have a voice. Mr. Porter states that he is wanting to be a good neighbor and limitless sounds in her opinion was not being a good neighbor.
- Claire Meyer, 2681 Sweetwater Juno Road, Dawsonville, GA – Ms. Meyer stated she is concerned about the noise and traffic. She stated that the noise levels will impair their child’s health and the possibly of people drinking and driving leaving this establishment.
- Brian Duran, 2681 Sweetwater Juno Road, Dawsonville, GA – Mr. Duran stated he is concerned about the traffic, sound, and light pollution. He stated that he is a geospatial engineer and would like to publicly extend his help with the cartography. Sound is not linear, so it goes in all directions much like light does and it is very three-dimensional. When a fence is placed, it does help with the sound but because the sound is not linear, it does extend and go out. Mr. Duran stated that he could make a sound map of the intrusive amounts of decibels around the property and maybe that would be a comfort to the problem. He stated that people do not understand what the decibels are and how much is intrusive and damaging to the ear. Surprisingly small amounts of noise damages hearing permanently.

Mr. Homans addressed the questions that were asked during the public notice. Mr. Homans stated that the sign would be placed on the bottom corner of the property facing Highway 53 West. They will provide the City Manager at his request with notice of the military and law enforcement training.

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The parking decks are going to be single story. Mr. Homans stated that regarding the sound levels, his client would like to come to a national standard that was provided during the last Planning Commission Meeting on Monday, July 10th and if it does not work, they are willing to come back and address the sounds and special events. Mr. Homans stated that as far as the restaurant is concerned, that had been approved and been on the site plan and Mr. Porter will provide you with more information.

Mr. Porter addressed the questions and concerns, where is the wildlife? – it's on the racetrack. The go-kart kitchen planned was approved. A restaurant is not unfounded, they have gone through the proper permitting process. The Planning Director brought it up for clarity's sake, as well as the track extension was approved in 2009. The track was moved back because of streams and wetlands and to save time, money, and stream credits, they moved the track back. Mr. Porter stated that for the past eleven years they have been having 200 plus car events so this will not be any different in traffic. The PA system that they were asking to use is on the existing speakers that has been in place for the past eleven years. The OSHA, World Health Organization, and ANSI have a limitation for nuisances and that's why they put 65 decibels at the property line. The sign at Highway 53 West would fall underneath the regulations of the city code. Mr. Porter further stated that he asked for 103 because that's what most racetrack limits are. They moved the sounds limits down from 103 – 101 decibels, a streetcar (Corvette, Porsche, Lamborghini) driving straight from the dealership, the DOT approves to be in your neighborhoods, city street, and highway. These types of vehicles cannot drive on the track and that's why they are asking for an increase in sound.

Motion to close the public hearing made by A Noggle; second by A. Tobolski. Vote carried unanimously in favor.

After a fervent discussion among the Commissioner Members, Planning Director J. Kinley, Mr. Porter, Mr. Homans and City Attorney K. Tallant regarding the track extension, sound limits, two unlimited sound race weekends, go-kart extended hours, kitchen/restaurant, condos and road improvements, a motion to recommend approval of ZSP-C2300063, the amended site plan and stipulations represented in the attached "Exhibit A" was made by A. Tobolski; second A. Noggle. Vote carried unanimously in favor.

BUSINESS

8. Silver Leaf Townhomes/Livic Properties, LLC As Built / Final Plat:

Planning Director J. Kinley provided the staff analysis report with the request to as built / final plat.

Motion to recommend approval of the as built / final plat represented in the attached "Exhibit B" made by A. Tobolski; second A. Noggle. Vote carried unanimously in favor.

PLANNING COMMISSION REPORTS: Next Planning Commission Meeting is Monday, September 11, 2023.

ADJOURNMENT: Motion to adjourn the meeting at 7:38 p.m. made by S. Sawyer; second by A. Tobolski. Vote carried unanimously in favor.

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Approved this 9th day of October 2023



Randy Davis, Commission Chairperson



Alexis Noggle, Planning Commissioner Post 1




Josh Nichols, Planning Commissioner Post 2



Sandy Sawyer, Planning Commissioner Post 3

ABSENT

Anna Tobolski, Planning Commissioner Post 4

Attested: 

~~Stacy Harris~~, Zoning Administrative Assistant
Clay Moss

Planning Commission recommended approval of the amended site plan and the following stipulations:

1. Private driving instruction and exhibition facility shall mean a facility containing a paved roadway two or more miles in length (the "driving course") the use of which is limited to:
 - a) Providing instruction and training in safe driving skills, adverse weather driving techniques, or high performance/competition driving
 - b) The exhibition, maintenance, and operation of vintage or specialty motor vehicles
 - c) Similar activities which are recreational or educational in nature
 - d) A private driving instruction, racing and exhibition facility
 - e) Accessory clubhouse, rental garages, retail and permitted commercial or industrial uses serving the primary driving course operations
 - f) Garage Condos (Approved September 9, 2019)
 - g) 46 Race Cottages
 - h) Ability to allow up to 25% of owners to rent Airbnb, VRBO, etc. condos and race cottages
2. The Applicant/Owner, their successors and assigns by application for and acceptance of this rezoning shall have conclusively deemed to have agreed to indemnify the City and its agents and representatives from all liability including personal injuries and property damage coming out of the extensive, use, ownership, or operation of the Motorsports Park.
3. When the driving course is not in use, it shall be secured in such a manner to prevent its unauthorized use.
4. Any Public Address (PA) system shall be below 90 DBA at 50 feet from the speaker.
5. The driving course shall be enclosed by a fence of a height and construction sufficient to preclude unauthorized persons from gaining access to the driving course from the main entrance, hot and cold pit areas.
6. When the car/motorcycle driving course is in use at speeds more than 45 mph, the operator shall, at his/her expense, onsite, a fully equipped ambulance with EMT. The EMT's shall be licensed under the laws of the State of Georgia.
7. Rental garages, Club House, rental buildings, and any other permitted commercial/industrial building shall be placed strategically to reduce sound levels. The location of the buildings shall be approved by the City Planning Director.
8. There shall be fifty (50) foot or greater undisturbed buffers along all streams.
9. Where the property runs along Duck Thurmond Road, buildings and existing Acoustiblok or similar quality sound fence shall be placed to reduce the sound levels and keep as much vegetative cover as possible on the approved site plan.
10. There shall be a buffer of between one hundred (100) feet and two hundred (200) feet to reduce sound levels as designed by Owner's sound engineer to meet the requirements of Condition 17. The buffer shall be around the perimeter of the property and shall be undisturbed except to permit an entrance road to the subject property, the construction of sound mitigation measures and/or the installation of any utilities. This buffer shall be planted

EXHIBIT "A"

in any area that is not visually impervious to a level approved by the City Planning Director in order to prevent any soil erosion.

11. Exterior lighting fixtures shall be of the box type and situated so that light only goes downward and shall not be more than twenty-five feet high and shall be designed so to minimize glare and light spillage to not more than one (1) foot candle along the interior buffer line of the subject property. With the exception of the kart lighting outlined in condition 14b.
12. There will be no grandstand(s) constructed on the property.
13. All signs at property lines will meet current regulations. Atlanta Motorsports Park will be allowed two signs on the property. The existing Atlanta Motorsports Park sign is approved and placed at the entrance on Duck Thurmond Road. The second sign will be allowed on highway 53 on the berm of the retention pond. The second sign will be two sided and follow the current sign and size regulations allowed under the CIR designation.
14. Hours of operation are limited to 7:00 a.m. to 6:00 p.m. from November 1 to March 31. From April 1 to October 31, the hours are limited to 7:00 a.m. (or one (1) hour after sunrise, whichever is earlier) to 8:00 p.m. (or one (1) hour after sunset, whichever is earlier). No on track activity before 8 a.m.
 - a) Go-Kart Track extended to 9:00 p.m. Monday through Thursday, 11:00 p.m. Friday and Saturday, and 8:00 p.m. on Sunday, seasonal April 1st through October 31st.
 - b) The lighting for the go-kart track is LED only, and be a similar system/brand design, light spill, pole height, etc. as the MUSCO Lighting System Kart Spill Lighting Plan Date Oct 7th, 2022, and Kart Lighting Design and Details dated August 16, 2022.
 - c) Military and Law Enforcement training and events are allowed after hours without noise with a 45-day notice to the City Manager.
15. No type of vehicle other than maintenance vehicles, military or law enforcement may run on the track before or after the hours listed above.
16. Facility to be restricted to site plan as submitted as to the use of the property, the type of structures allowed and the general placement of the structure as the same may be revised by the Owner's sound engineer to meet the sound requirements of Condition 17. Any major adjustments, change or additions must be approved by the Planning Commission. Any minor adjustments must be approved by the Planning Director. The decision of what is major, or minor is to be made at the discretion of the Planning Director.
17. Sound monitoring meters shall be installed in four locations around the perimeter of the property at the property line on the outside edge of the buffer at locations as shown on the approved site plan. These meters monitor in a unified fashion, if multiple meters read above the sound limits at the same time and same day, it does not result in multiple fines, but one fine per incident. If one meter reads above the sound limit and the others do not, it does result in a fine. In addition, the Owner shall install one sound meter 50 feet from the outside track pavement edge to monitor track sound levels such that they remain below 98 DBA LEQ per vehicle at all times. Only Low Noise Go-Karts may be operated on the track and their noise level may not exceed 92 DBA LEQ. The Owner, its successors and assigns shall operate the sound monitoring meters at all times that the track is operating. As a condition of continued operation pursuant to their business license, sound levels at the four locations outside the existing sound fence as depicted on the approved site plan shall not exceed 63 DBA LEQ (16).

Method of measurement: Measurements shall be made with a calibrated sound level meter in good condition, meeting the requirements of a Type 1 or Type 2 meter, as specified in ANSI Standards, section 1.4 – 1971. For the purpose of this section, a sound level meter shall contain at least an “A” weighting network, and both fast and slow response capability. Failure to comply with this condition shall result in a citation for watch offense and upon conviction a fine as set by the City Judge of up to \$1,000 per violation. Upon three or more convictions for failure to comply with this condition during any calendar year, the Mayor and Council may revoke the business license and the ability of Owner, and its successors and assigns to operate the facility as a motorsports park complex.

18. All infrastructures shall be designed and installed as required by the Development regulations in force at the time the Owner seeks permits for development.
19. Allow up to two (2) annual events on the car/motorcycle course from Thursday through Sunday that will involve a maximum of 300 racer entrants with open sound limits during events. These events will operate only during the hours of Condition 14 and a minimum 90-day written notice to the adjacent property owners/neighbor. Each event requires prior approval of the City Council. Once approved by the City Council, that event cannot be canceled by any preceding motion.
20. Approval of Master Site Plan page C201 created by Civilogistix dated October 31, 2022, latest revision May 30, 2023.
21. GDOT after they have recommended their improvements, that these be reviewed by the City Council with the potential petitioner, paying for the improvements at Highway 53 West and Duck Thurmond Road, with any further expansion of Atlanta Motorsports Park.

AMP FUTURE IMPROVEMENTS

SITE PLANS FOR:

20 DUCK THURMOND RD
DAWSONVILLE, GA 30534

LAND LOTS 254, 255, 290, 291, 292, 322, & 323 - DISTRICT 4

OWNER/DEVELOPER:

ATLANTA MOTORSPORTS PARK

20 DUCK THURMOND RD
DAWSONVILLE, GA 30534

ENGINEER:
CIVILOGISTIX, LLC
500 SUN VALLEY DR, STE H3
ROSWELL, GA 30076
TELEPHONE: (404) 594-4403
EMAIL: DAVID@CIVILOGISTIX.COM

GSWCC LEVEL II DESIGN
PROF. CERT#000003430
EXPIRATION: 05/02/24

ADDRESSES FOR INDIVIDUAL
STRUCTURES TO BE ASSIGNED BY
DAWSON COUNTY

1. AS-BUILT SITE CONDITIONS WILL
BE REQUIRED AND RECORDED PRIOR
TO ISSUANCE OF CERTIFICATE OF
OCCUPANCY
2. ALL UNDISTURBED BUFFERS SHALL
BE IDENTIFIED WITH ORANGE,
FOUR-FOOT TREE-SAVE FENCING
PRIOR TO ANY LAND DISTURBANCE.

24 HOUR CONTACT

JEREMY PORTER
(404)993-3496

ATLANTA MOTORSPORTS PARK
20 DUCK THURMOND ROAD
DAWSONVILLE, GA 30534

NOTE: NOTIFY CITY OF DAWSONVILLE INSPECTOR 24 HOURS
BEFORE BEGINNING PHASE OF CONSTRUCTION, (706) 283-3234.



VICINITY MAP



FLOOD MAP

- GENERAL NOTES
1. LOCAL JURISDICTION: CITY OF DAWSONVILLE
 2. PROPERTY AREA: 152.14 ACRES
 3. PROPOSED USE: RACE TRACK
 4. FLOOD MAP #13085C0896C & 13085C0100C
 5. THERE ARE STATE WATERS LOCATED ON SITE
 6. THERE ARE WETLANDS LOCATED ON SITE
 7. AS BUILT SITE CONDITIONS WILL BE REQUIRED AND RECORDED PRIOR TO
ISSUANCE OF CERTIFICATE OF OCCUPANCY.

DATE: OCTOBER 31, 2022
REVISED: FEBRUARY 9, 2023
REVISED: APRIL 27, 2023
REVISED: **MAY 30, 2023**

EXHIBIT "A"

CIVIL	COVER SHEET
C001	ZONING CONDITIONS
C002	MASTER SITE PLAN
C201	TRACK EXT
C202.1	TURN 15 MODIFICATION
C202.2	PHASE 4 CONDOS
C202.3	PHASE 5 CONDOS
C202.4	PHASE 6 CONDOS
C202.5	PHASE 7 CONDOS
C202.6	GO-KART GARAGES
C202.7	CAROUSEL BUILDINGS
C202.8	TURN 6 BUILDINGS
C202.9	ELEVATED GO-KART CONDOS
C202.10	ELEVATED PIT LANE CONDOS
C202.11	ELEVATED PIT LANE CONDOS
C202.12	GOLF CART PATH
C203.1	GOLF CART PATH
C203.2	GOLF CART PATH
C203.3	GOLF CART PATH
C203.4	GOLF CART PATH
C203.5	GOLF CART PATH



CIVILOGISTIX
500 SUN VALLEY DRIVE, STE H3, ROSWELL, GA 30076
(404) 594-4403 - CIVILOGISTIX.COM

COVER SHEET
AMP FUTURE IMPROVEMENTS
20 DUCK THURMOND RD
DAWSONVILLE, GA 30534

C001

21320

OCTOBER 31, 2022
REVISIONS



CIVILICISTIX

500 SUN VALLEY DRIVE, STE H3, ROSWELL, GA 30076
(404) 594-4103 - CIVILICISTIX.COM

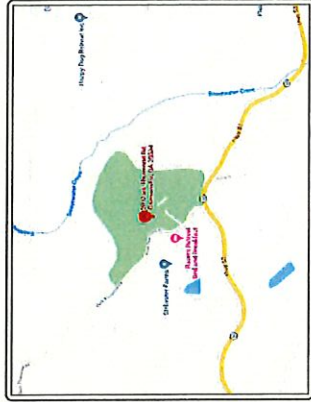
MASTER SITE PLAN AMP FUTURE IMPROVEMENTS 20 DUCK THURMOND RD DANVILLE, GA 30534

C201

21320

OCTOBER 31, 2022

REVISIONS



GENERAL NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF DANVILLE, STATE OF GA REGULATIONS AND ORDINANCES.
- SEE SURVEY, RECONSTRUCTION PLANS AND ALL CHANGES THEREON FOR DIMENSIONS FROM A SURVEY BY GRANT SHERPARD ASSOCIATES, ADDRESS 722 LINDSEY BLVD, SUITE 1A, LAWRENCEVILLE, GA 30046, DATED 03-26-15, REVISED 03-30-15, 01-28-17.
- ACCORDING TO INITIAL DEVELOPMENT SURVEY PREPARED BY GRANT SHERPARD ASSOCIATES, THERE ARE NO UNRECORDED EASEMENTS OR ENCROACHMENTS THAT HAVE BEEN FOUND TO RESIDE IN ZONE A, WHICH IS INSIDE THE LIMITS OF THE TWO YEAR FLOOD ZONE.
- BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE "GRADE DIMENSIONS". FOR ACTUAL DIMENSIONS, CONTRACTOR SHALL VERIFY DIMENSIONS TO FACE. CURBS & UTILITY ARE TO FACE OF CURB.
- ARCHITECTURAL PLANS, DIMENSIONS TO FACE, CURBS & UTILITY ARE TO FACE OF CURB.
- CONTRACTOR IS RESPONSIBLE FOR WORK TO WITHIN 5' OF THE BUILDING. EXISTING UTILITIES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED, OR RELOCATED AS INDICATED ON THE PLANS AND IN THE SPECIFICATIONS.
- CONTRACTOR IS TO NOTIFY CITY INSPECTORS 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS, INCLUDING A DOT UTILITY ENCROACHMENT PERMIT.
- ALL STORAGE SHALL COMPLY WITH THE CITY OF DANVILLE ZONING ORDINANCE. A SEPARATE SIGN PERMIT IS REQUIRED.
- CONTRACTOR SHALL NOT BE PERMITTED THROUGH THE CITY OF DANVILLE PLANNING AND ZONING DEPARTMENT.
- CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN REQUIRED PARKING AREAS AND MUST BE STORED WITHIN THE SITE. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN AREAS WHICH RESTRICT SIGHT DISTANCE.
- THE EXACT LOCATION OF HANDICAP RAMPS SHALL BE COORDINATED WITH THE CITY OF DANVILLE PLANNING AND ZONING DEPARTMENT.
- ALL SIDEWALKS ARE TO BE INSTALLED PER ADA STANDARDS. SIDEWALKS TO HAVE MAX SLOPE OF 2% AND MAX CROSS SLOPE OF 2%.
- CONTRACTOR SHALL NOTIFY ENGINEER SHOULD ANY FIELD CONDITIONS BE NOTED THAT DIFFER FROM THE SURVEY.
- USDA CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS INDICATING ALL CHANGES AND DISCREPANCIES TO THE ORIGINAL DRAWINGS.
- PROJECT LOCATION IS 20 DUCK THURMOND RD CORNER OF HWY 108 AND DUCK THURMOND ROAD, IN THE CITY OF DANVILLE, DANVILLE, STATE OF GEORGIA.
- OWNER INFORMATION - SHERY PORTER, 20 DUCK THURMOND RD, DANVILLE, GA 30534, PHONE (604) 833-8348, CONTACT - SHERY PORTER.
- ENGINEER: CIVILICISTIX, LLC, 500 SUN VALLEY DRIVE, ROSWELL, GA 30076, PHONE (404) 594-4103, CONTACT: DAVID WHITE, CIVILICISTIX.COM.
- BUILDING LOCATIONS TO THE OUTSIDE FACE OF BLOCK. CONTRACTOR TO COORDINATE AND VERIFY EXISTING BUILDING DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
- EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED. ANY UTILITIES FOUND TO BE CONSIDERED TO BE A VIOLATION OF THE CITY'S ORDINANCE PROHIBITING UNLIMITED RIGHT-OF-WAY ENCROACHMENT.
- NO STRUCTURES, FENCES OR OTHER ENCROACHMENTS MAY BE LOCATED WITHIN A DRAINAGE DISTRICT OR FLOOD ZONE. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONSTRUCTION, FIRM 282324.
- NOTIFY CITY OF DANVILLE INSPECTOR IN 48 HOURS BEFORE BEGINNING PAVING OF ANY PAVED SURFACE.
- ALL ZONING DISTRICTS SHALL BE IDENTIFIED WITH ORANGE, FOUR-FOOT THICK SAWE FENCING PRIOR TO ANY LAND DISTURBANCE.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONSTRUCTION, FIRM 282324.
- NO OVERNIGHT PARKING TO BE ALLOWED OUTSIDE OF BUILDINGS.
- WORK HOURS SHALL BE BETWEEN THE HOURS OF 7:30 AM AND DUEK MONDAY-FRIDAY AND 8:30 AM AND DUEK ON SATURDAY. NO CONSTRUCTION WORK ON SUNDAYS.
- THE SITE ENDS CURRENTLY ZONED "RESTRICTED INDUSTRIAL" WITHIN THE CITY OF DANVILLE.
- THE SITE ENDS CURRENTLY ZONED "RESTRICTED INDUSTRIAL" WITHIN THE CITY OF DANVILLE.
- THE AREA OF LAND DISTURBANCE ENDS INTO THE FLOOD ZONE "V" AREA. REFER TO SHEET C001 FOR THE FLOOD ZONE DESIGNATION.
- INTERIOR STREETS TO BE MAINTAINED PRIVATELY.

Line #	Length	Direction
L1	1320.200	S07 45° 24' W
L2	375.500	N88° 48' 43" W
L3	71.540	N63° 37' 45" W
L4	72.380	N27° 20' 12" W
L5	35.990	N39° 06' 34" W
L6	57.890	N48° 23' 54" W
L7	78.300	N6° 41' 34" E
L8	64.770	N2° 51' 03" E
L9	85.310	N88° 11' 48" W
L10	203.680	N39° 33' 54" W
L11	218.090	N49° 28' 40" W
L12	85.340	N51° 03' 15" W
L13	118.990	N55° 07' 19" W
L14	51.450	N52° 38' 32" W

Line #	Length	Direction
L1	147.890	N07 12' 03" E
L2	98.080	S08 18' 59" E
L3	397.410	S0° 11' 43" W
L4	239.240	S35° 22' 41" E
L5	185.530	S1° 07' 38" W
L6	140.390	S1° 07' 38" W
L7	117.460	S28° 03' 58" E
L8	123.300	S47° 29' 39" E
L9	143.890	S42° 54' 02" E
L10	104.040	S82° 03' 47" E
L11	448.490	S85° 35' 37" E
L12	112.600	S42° 37' 43" E
L13	392.390	S42° 35' 08" E
L14	188.760	S59° 37' 55" E
L15	147.320	S50° 49' 09" E
L16	273.110	S40° 54' 30" E
L17	472.430	S51° 12' 00" E
L18	592.470	S32° 15' 01" E
L19	392.390	S42° 35' 08" E
L20	930.320	N88° 38' 58" W

Curve #	Length	Radius	Delta	Chord Bearing
C1	138.254	568.360	13.2847	S72° 45' 21" W
C2	208.514	531.420	22.4812	S37° 59' 19" W
C3	92.750	239.230	22.2137	N19° 17' 15" W
C4	121.999	235.520	29.8782	N42° 56' 34" W
C5	135.901	717.570	10.8194	N84° 25' 25" W
C6	77.635	865.650	5.0980	N84° 33' 09" W
C7	308.540	427.870	41.0077	N24° 57' 55" W
C8	89.476	429.470	11.3554	N1° 01' 30" E
C9	107.329	234.114	40.8312	N21° 48' 00" W
C10	119.380	268.330	25.4977	N59° 20' 02" W
C11	107.880	305.910	16.8878	N81° 16' 52" W
C12	283.701	408.680	37.3395	N88° 13' 57" W
C13	185.779	1111.390	9.5782	N48° 06' 43" W

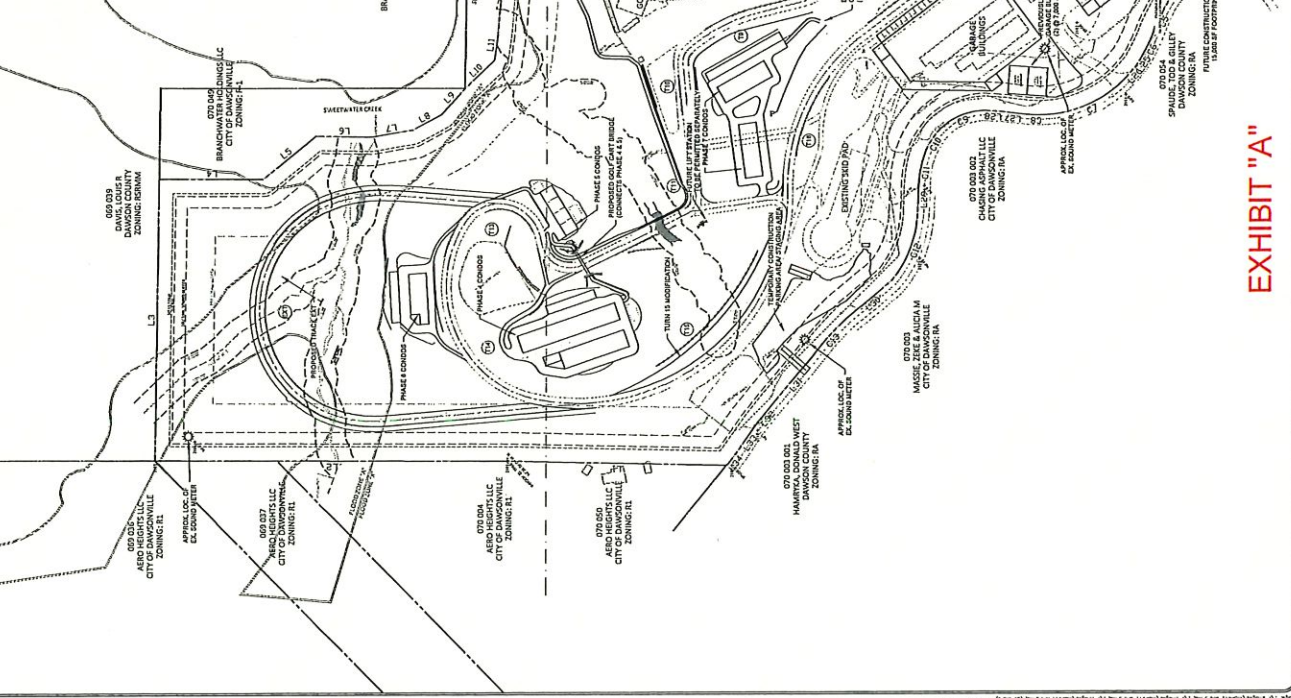


EXHIBIT "A"

THIS PLAN IS THE PROPERTY OF CIVILICISTIX, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. CIVILICISTIX, LLC IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS PLAN. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON. CIVILICISTIX, LLC IS NOT A PROFESSIONAL ENGINEER IN THE STATE OF GEORGIA. CIVILICISTIX, LLC IS NOT A PROFESSIONAL ENGINEER IN THE STATE OF GEORGIA. CIVILICISTIX, LLC IS NOT A PROFESSIONAL ENGINEER IN THE STATE OF GEORGIA.



GENERAL NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF DAWSONVILLE, STATE OF GA REGULATIONS AND CODES, AS WELL AS ALL LOCAL, STATE AND FEDERAL REQUIREMENTS.
2. THE SURVEY WAS CONDUCTED BY GRANT SHERPARD ASSOCIATES, P.C. FROM A SURVEY BY GRANT SHERPARD ASSOCIATES, P.C. DATED 03-26-15, REVISED 03-30-15, 01-28-17, LAWRENCEVILLE, GA. 30046. THE SURVEY IS SUBJECT TO THE TERMS AND CONDITIONS OF THE SURVEY AGREEMENT, WHICH IS AVAILABLE AT THE OFFICE OF THE ENGINEER. THE SURVEY HAS BEEN FOUND TO RESIDE IN ZONE "A", WHICH IS INSIDE THE LIMITS OF THE "100 YEAR FLOOD ZONE".
3. ACCORDING TO INITIAL DEVELOPMENT SURVEY PREPARED BY GRANT SHERPARD & ASSOCIATES, P.C. DATED 03-26-15, REVISED 03-30-15, 01-28-17, THE EXISTING UTILITY LOCATIONS SHOWN ON THIS PLAN ARE "LEAST DIMENSIONS". FOR ACTUAL WORK, THE CONTRACTOR SHALL OBTAIN ALL PERMITS PRIOR TO THE START OF CONSTRUCTION.
4. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE "LEAST DIMENSIONS". FOR ACTUAL WORK, THE CONTRACTOR SHALL OBTAIN ALL PERMITS PRIOR TO THE START OF CONSTRUCTION.
5. SITE WORK CONTRACTOR IS RESPONSIBLE FOR WORK TO WITHIN 5' OF THE BUILDING FACE OF CURB AND TO MAINTAIN ALL UTILITIES UNLESS SPECIFICALLY NOTED, REMOVED, OR RELOCATED AS INDICATED ON THE PLAN AND IN THE SPECIFICATIONS.
6. CONTRACTOR SHALL NOTIFY CITY INSPECTORS 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
7. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS, INCLUDING A DOT UTILITY ENCROACHMENT PERMIT.
8. ALL SIGNAGE SHALL COMPLY WITH THE CITY OF DAWSONVILLE ZONING ORDINANCE. A SEPARATE SIGN PERMIT IS REQUIRED.
9. ALL CONSTRUCTION TRAILERS USED ON SITE SHALL BE PERMITTED THROUGH THE CITY OF DAWSONVILLE AND MUST BE STORED WITHIN THE CITY OF DAWSONVILLE.
10. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN RESIDUAL PAVED AREAS AND MUST BE STORED WITHIN THE SITE. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN AREAS WHICH RESTRICT SIGHT DISTANCE.
11. THE EXACT LOCATION OF HANDICAP PARKING SHALL BE COORDINATED WITH THE APPLICABLE SIDEWALK ACCESSIBLE ROUTE, AND ENTRANCE DRIVES.
12. ALL SIDEWALKS ARE TO BE INSTALLED PER ADA STANDARDS. SIDEWALKS TO HAVE MAX SLOPE OF 2% AND MAX CROSS SLOPE OF 2%.
13. CONTRACTOR SHALL NOTIFY ENGINEER SHOULD ANY FIELD CONDITIONS BE NOTED THAT DIFFER FROM THE SURVEY.
14. CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS INDICATING ALL CHANGES AND CONDITIONS.
15. CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS INDICATING ALL CHANGES AND CONDITIONS.
16. CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS INDICATING ALL CHANGES AND CONDITIONS.
17. OWNER INFORMATION: SHERPA PORTER, 20 DUCK TURNING RD., DAWSONVILLE, GA 30534, PHONE (404) 633-3333, CONTACT: SHERPA PORTER.
18. ENGINEER: CIVILICISTIX, LLC, 500 SUN VALLEY DRIVE, ROSWELL, GA 30076, PHONE (404) 594-4103, CONTACT: DAVID WHITE, CIVILICISTIX.COM.
19. BUILDING LOCATION TO THE OUTSIDE FACE OF BLOCK. CONTRACTOR TO COORDINATE AND VERIFY EXISTING UTILITY LOCATIONS AND MAINTAIN ALL UTILITIES UNLESS SPECIFICALLY NOTED, REMOVED, OR RELOCATED AS INDICATED ON THE PLAN AND IN THE SPECIFICATIONS.
20. CONTRACTOR SHALL NOTIFY ENGINEER SHOULD ANY FIELD CONDITIONS BE NOTED THAT DIFFER FROM THE SURVEY.
21. NO STRUCTURES, FENCES OR OTHER DISTRIBUTIONS MAY BE LOCATED WITHIN A DRAINAGE DISTRICT OR FLOOD HAZARD AREA WITHOUT THE APPROVAL OF THE CITY OF DAWSONVILLE.
22. ALL ZONING VIOLATIONS SHALL BE IDENTIFIED WITHIN 30 DAYS OF THE START OF CONSTRUCTION, PER 2022-2024.
23. ALL ZONING VIOLATIONS SHALL BE IDENTIFIED WITHIN 30 DAYS OF THE START OF CONSTRUCTION, PER 2022-2024.
24. RETAINING WALL DESIGN MUST BE SUBMITTED TO THE CITY OF DAWSONVILLE FOR APPROVAL. SPECIFICATIONS THAT ARE SPECIFIC TO THIS PROJECT SHALL BE SHOWN AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER. ALL WALLS GREATER THAN THIRTY (30) INCHES IN HEIGHT SHALL INCLUDE A FINISH ON NORMAL.
25. NO OVERHUNG PARKING TO BE ALLOWED OUTSIDE OF BUILDING.
26. WORK HOURS SHALL BE BETWEEN THE HOURS OF 7:00 AM AND 4:00 PM MONDAY AND 8:00 AM AND 4:00 PM SATURDAY. NO CONSTRUCTION WORK ON SUNDAY.
27. THE SITE ENDS AT THE INTERSECTION OF DUCK TURNING ROAD AND HIGHWAY 42. THE SITE ENDS AT THE INTERSECTION OF DUCK TURNING ROAD AND HIGHWAY 42. THE SITE ENDS AT THE INTERSECTION OF DUCK TURNING ROAD AND HIGHWAY 42.
28. THE SITE IS CURRENTLY ZONED "RESTRICTED INDUSTRIAL" WITHIN THE CITY OF DAWSONVILLE.
29. INTERIOR STREETS TO BE MAINTAINED PRIVATE.
30. THE AREA OF LAND DISTURBANCE ENCLOSED INTO THE FLOOD ZONE "A" AREA. REFER TO SHEET C04 FOR THE FLOOD ZONE Delineation.

LIGHTING NOTES

1. SITE LIGHTING NOT INCLUDED IN PLAN SET.
2. SITE LIGHTING TO BE DESIGNED BY OTHERS.
3. SITE LIGHTING TO BE PERMITTED THROUGH CITY OF DAWSONVILLE.

CONDOS AT PHASE 5 LOCATION PREVIOUSLY APPROVED

AMP ASPHALT PAVING SYMBOLS LEGEND

	ASPHALT PAVING
	CONCRETE PAVING
	GRAVEL PAVING
	SAND PAVING
	STONE PAVING

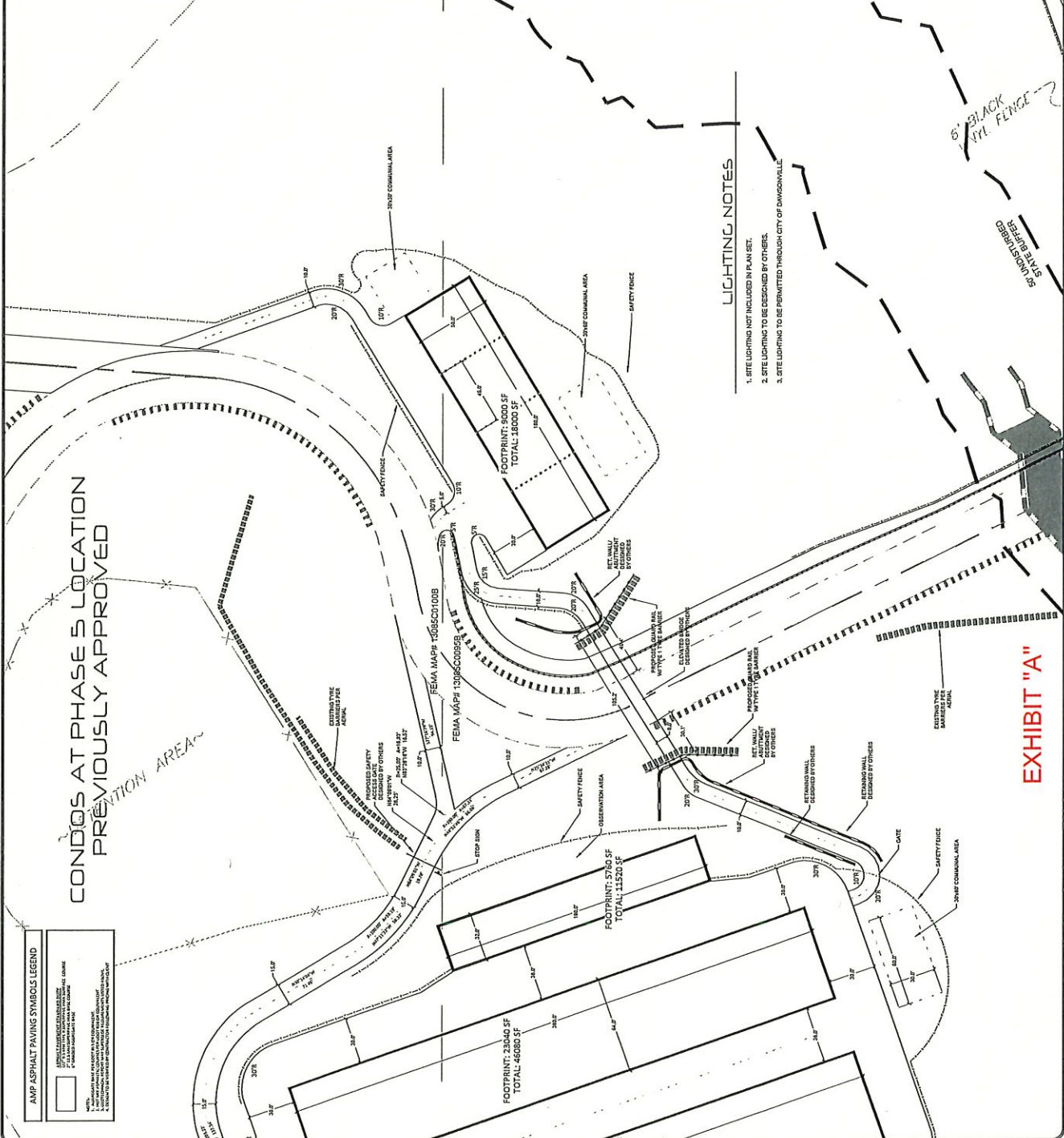


EXHIBIT "A"

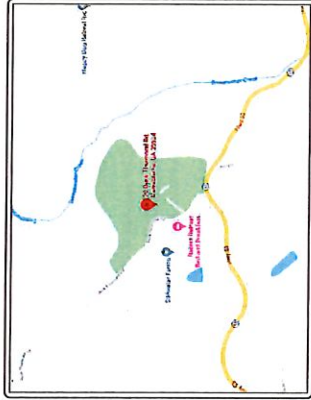




CIVILICISTIX
 500 SUN VALLEY DRIVE, STE H3, ROSWELL, GA 30076
 (404) 594-4103 - civlog@icx.com

SITE PLAN: GO-KART GARAGES
 AMP FUTURE IMPROVEMENTS
 20 DUCK TURNOND RD.
 DAWSONVILLE, GA 30034

C202.7
 21320
 OCTOBER 31, 2022
 REVISIONS: 04-27-23



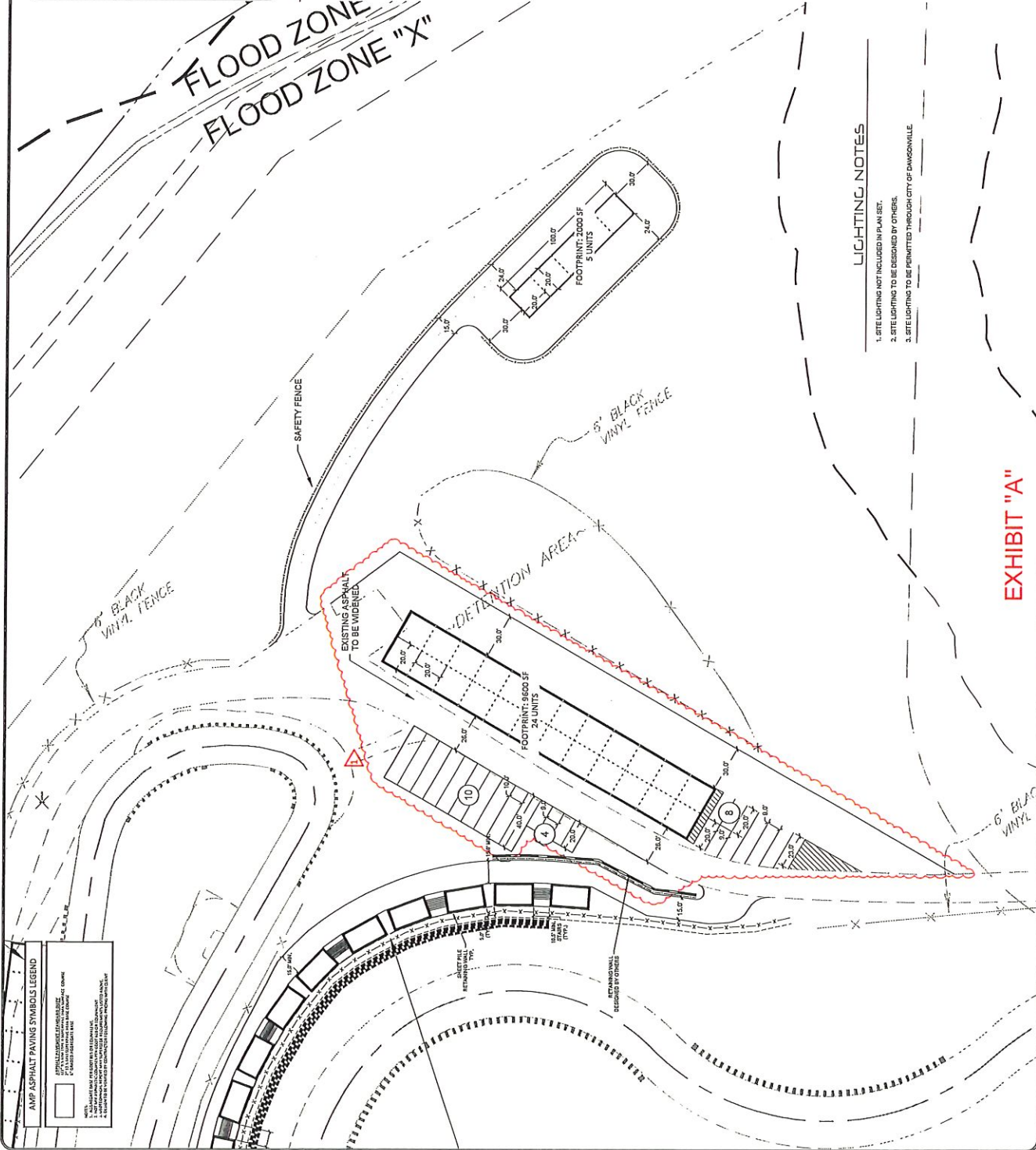
GENERAL NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF DAWSONVILLE, STATE OF GA REGULATIONS AND CODES, AS WELL AS ALL O.S.H.A. STANDARDS.
2. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY DATED 06-20-20, CONDUCTED BY CIVILICISTIX, INC. (CIVILICISTIX) AT THE PROJECT SITE. A SURVEY REPORT IS ATTACHED TO THIS SET OF DRAWINGS.
3. ACCORDING TO INITIAL DEVELOPMENT SURVEY PERFORMED BY CHASE ENGINEERS & ASSOCIATES, DATED 06-20-20, PORTIONS OF THE SUBJECT PROPERTY OF THIS SURVEY HAS BEEN FOUND TO RESIDE IN ZONE "X", WHICH IS INSIDE THE LIMITS OF THE 100 YEAR FLOOD ZONE. DIMENSIONS SHOWN ON THIS PLAN ARE "LEAST DIMENSIONS". FOR ACTUAL DIMENSIONS, SEE ARCHITECTURAL PLANS. DIMENSIONS TO CONC. CURB & CUTTER ARE TO "FACE OF CURB".
4. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE "LEAST DIMENSIONS". FOR ACTUAL DIMENSIONS, SEE ARCHITECTURAL PLANS. DIMENSIONS TO CONC. CURB & CUTTER ARE TO "FACE OF CURB".
5. SITE WORK CONTRACTOR IS RESPONSIBLE FOR WORK TO WITHIN 5' OF THE BUILDING. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED, OR RELOCATED AS INDICATED ON THE PLANS AND IN THE SPECIFICATIONS.
6. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS, INCLUDING A DOT UTILITY ENCROACHMENT PERMIT.
7. ALL SEWAGE SHALL COMPLY WITH THE CITY OF DAWSONVILLE ZONING ORDINANCE. A SEWAGE TREATMENT PLANT IS REQUIRED.
8. CONSTRUCTION TRAILER USED ON-SITE SHALL BE PERMITTED THROUGH THE CITY OF DAWSONVILLE PLANNING AND ZONING DEPARTMENT.
9. ALL CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN REQUIRED RIGHT-OF-WAY, AND ALL CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN AREAS WHICH RESTRICT SIGHT DISTANCE.
10. THE EXACT LOCATION OF HANDICAP RAMPS SHALL BE COORDINATED WITH THE APPLICABLE ADA REGULATIONS AND SHALL BE PROVIDED AT THE INTERSECTIONS OF EACH APPLICABLE DRIVE AND SIDEWALK DRIVE.
11. ALL SIDEWALKS ARE TO BE INSTALLED AT A MINIMUM SIDEWALK DIMENSIONS TO HAVE MAX SLOPE OF 5% AND MAX CROSS SLOPE OF 2%.
12. CONTRACTOR SHALL NOTIFY ENGINEERS SHOULD ANY FIELD CONDITIONS BE NOTED THAT DIFFER FROM THE SURVEY.
13. SITE CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS INDICATING ALL CHANGES AND DEVIATIONS.
14. PROJECT LOCATION: 20 DUCK TURNOND RD CORNER OF HWY 20 AND DUCK TURNOND RD, IN THE CITY OF DAWSONVILLE, DAWSON COUNTY, STATE OF GEORGIA.
15. ENGINEER: CIVILICISTIX, INC. 500 SUN VALLEY DRIVE, ROSWELL, GA 30076, PHONE (404) 594-4103, CONTACT: DAVID WHITE, CIVILICISTIX.COM.
16. BUILDING LOCATION IS TO THE OUTSIDE FACE OF FENCE. CONTRACTOR TO COORDINATE AND VERIFY EXACT BUILDING LOCATION & DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
17. IRRIGATION SYSTEMS ARE PROHIBITED ON ALL EXISTING AND PROPOSED CITY RIGHT-OF-WAY AND RIGHT-OF-WAY ENCROACHMENTS. THE CITY'S ORDINANCE PROHIBITS UNLIMITED IRRIGATION SYSTEMS.
18. NO STRUCTURES, FENCES, OR OTHER OBSTRUCTIONS MAY BE LOCATED WITHIN A DRAINAGE WATER COURSE OR ACCESS EASEMENT WITHOUT PRIOR APPROVAL BY THE CITY OF DAWSONVILLE.
19. NOTIFY CITY OF DAWSONVILLE INSPECTOR 24 HOURS BEFORE BEGINNING PHASE OF CONSTRUCTION.
20. ALL STRUCTURES SHALL BE IDENTIFIED WITH ORANGE, FOUR FOOT TREE-SAVE FENCING PRIOR TO ANY LAND DISTURBANCE.
21. RETAINING WALL DESIGN MUST BE SUBMITTED TO THE CITY OF DAWSONVILLE FOR APPROVAL PRIOR TO CONSTRUCTION. ANY APPROVAL WILL DESIGN MUST INCLUDE DETAILS AND PROFESSIONAL ENGINEER IN THE STATE OF GEORGIA. ALL WALLS GREATER THAN THIRTY (30) FEET SHALL INCLUDE A POLE OR ANCHOR.
22. NO OBSTRUCTION PARKING TO BE ALLOWED OUTSIDE OF BUILDINGS.
23. ALL UTILITIES SHALL BE IDENTIFIED WITH ORANGE, FOUR FOOT TREE-SAVE FENCING PRIOR TO ANY LAND DISTURBANCE.
24. RETAINING WALL DESIGN MUST BE SUBMITTED TO THE CITY OF DAWSONVILLE FOR APPROVAL PRIOR TO CONSTRUCTION. ANY APPROVAL WILL DESIGN MUST INCLUDE DETAILS AND PROFESSIONAL ENGINEER IN THE STATE OF GEORGIA. ALL WALLS GREATER THAN THIRTY (30) FEET SHALL INCLUDE A POLE OR ANCHOR.
25. THE SITE IS CURRENTLY ZONED "RESTRICTED INDUSTRIAL" WITHIN THE CITY OF DAWSONVILLE.
26. INTERIOR STREETS TO BE MAINTAINED PRIVATELY.
27. THE AREAS OF LAND DISTURBANCE ENOUGH INTO THE FLOOD ZONE "X" AREA, REFER TO SHEET C001 FOR THE FLOOD ZONE DELINEATION.

LIGHTING NOTES

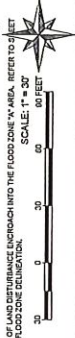
1. SITE LIGHTING NOT INCLUDED IN PLAN SET.
2. SITE LIGHTING TO BE DESIGNED BY OTHERS.
3. SITE LIGHTING TO BE PERMITTED THROUGH CITY OF DAWSONVILLE.

EXHIBIT "A"



AMP ASPHALT PAVING SYMBOLS LEGEND

[Symbol]	AMP ASPHALT PAVING
[Symbol]	AMP ASPHALT PAVING WITH CURB
[Symbol]	AMP ASPHALT PAVING WITH CURB AND DRAINAGE
[Symbol]	AMP ASPHALT PAVING WITH CURB AND DRAINAGE AND SLOPE



THIS SET OF DRAWINGS IS THE PROPERTY OF CIVILICISTIX, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CIVILICISTIX, INC.



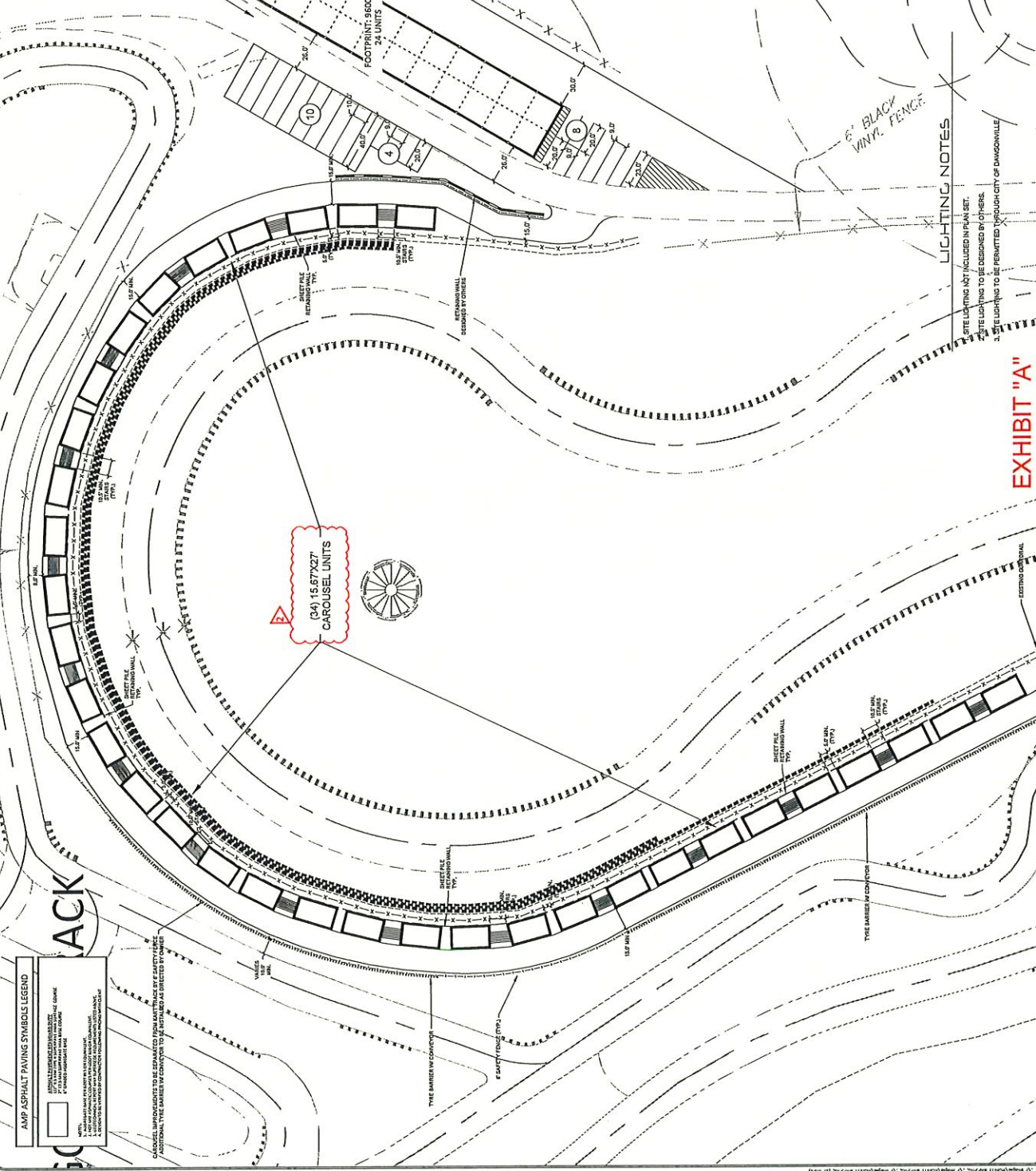
CIVILICISTIX
500 SUN VALLEY DRIVE, STE H3, ROSWELL, GA 30076
(404) 594-9443 - CIVILICISTIX.COM

SITE PLAN: CAROUSEL BUILDINGS
AMP FUTURE IMPROVEMENTS
20 DUCK THURMOND RD, DAWSONVILLE, GA 30534
C202.8
21320
OCTOBER 31, 2022
DESIGNED BY: DAVID WHITE
CHECKED BY: DAVID WHITE
OWNER COMMENTS: 04-27-23
POWER COMMENTS: 05-30-23



GENERAL NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF DAWSONVILLE, STATE OF GA REG. ORDINANCES.
2. SITE FOR ALL CITY UTILITIES HAS BEEN LOCATED FROM A SURVEY BY GRANT SHERBORN & ASSOCIATES, ADDRESS 732 LONCLAY BLVD, SUITE A, LAWRENCEVILLE, GA 30046, DATED 03-28-15, REVISED 03-30-15, 01-28-17.
3. ACCORDING TO INITIAL DEVELOPMENT SURVEY PREPARED BY GRANT SHERBORN & ASSOCIATES, A FLOOD HAZARD OF FLOOD ZONE "X" HAS BEEN FOUND TO RESIDE IN ZONE "A", WHICH IS INSIDE THE LIMITS OF THE 100 YEAR FLOOD ZONE.
4. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE "GROSS" DIMENSIONS. FOR ACTUAL FINISH DIMENSIONS, REFER TO ARCHITECTURAL PLANS. DIMENSIONS TO CONC. CURB & GUTTER ARE TO FACE OF CURB.
5. SITE WORK CONTRACTOR IS RESPONSIBLE FOR WORK TO WITHIN 5' OF THE BUILDING. SETBACK SETBACKS WITHIN CONSTRUCTION LIMITS ARE TO BE MAINTAINED, REMOVED, OR REDUCED AS INDICATED ON THE PLANS AND IN THE SPECIFICATIONS.
6. CONTRACTOR IS TO NOTIFY CITY INSPECTORS 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
7. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS, INCLUDING GA DOT UTILITY ENCROACHMENT PERMIT.
8. ALL SIGNAGE SHALL COMPLY WITH THE CITY OF DAWSONVILLE ZONING ORDINANCE. A SEPARATE SIGN PERMIT IS REQUIRED.
9. ALL PERMITTED CONSTRUCTION SHALL BE PERMITTED THROUGH THE CITY OF DAWSONVILLE PLANNING AND ZONING DEPARTMENT.
10. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN REQUIRED BIKEWAY AND MUST BE STORED WITHIN THE SITE. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN AREAS WHICH RESTRICT SIGHT DISTANCE.
11. THE EXACT LOCATION OF HANDICAP RAMP(S) SHALL BE COORDINATED WITH THE APPLICABLE ADA, ACCESSIBLE ROUTE, AND ENTRANCE DRIVE(S).
12. ALL SIDEWALKS ARE TO BE INSTALLED PER ADA STANDARDS. SIDEWALKS TO HAVE MAX SLOPE OF 2% AND MAX CROSS SLOPE OF 2%.
13. CONTRACTOR SHALL NOTIFY ENGINEER SHOULD ANY FIELD CONDITIONS BE NOTED THAT DIFFER FROM THE SURVEY.
14. CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS INDICATING ALL CHANGES AND DATE OF CHANGE.
15. PROJECT LOCATION: 20 DUCK THURMOND RD CORNER OF HWY 29 AND DUCK THURMOND ROAD, IN THE CITY OF DAWSONVILLE, DAWSON COUNTY, STATE OF GEORGIA.
16. OWNER'S INFORMATION: SHERBORN & ASSOCIATES, 732 LONCLAY BLVD, SUITE A, LAWRENCEVILLE, GA 30046, PHONE (678) 633-4324, CONTACT: SHERBORN & ASSOCIATES.
17. ENGINEER: CIVILICISTIX, LLC, 500 SUN VALLEY DRIVE, ROSWELL, GA 30076, PHONE (404) 594-9443, CONTACT: DAVID WHITE, CIVILICISTIX.COM.
18. BUILDING LOCATION IS TO THE OUTSIDE FACE OF FLOOD. CONTRACTOR TO COORDINATE AND VERIFY WITH ANY AGENCIES THAT MAY HAVE JURISDICTION OVER THE BIKEWAY AND BIKEWAY BUFFER ARE PERMITTED ON ALL BUILDINGS AND PROPOSED CITY BIKEWAY AND CONSIDERED TO BE A VIOLATION OF THE CITY ORDINANCE PROHIBITING UNPERMITTED BIKEWAY ENCROACHMENT.
19. ALL STRUCTURES, FENCES, OR OTHER OBSTRUCTIONS MAY BE LOCATED WITHIN A DRAINAGE RIGHT-OF-WAY OR OTHER RIGHT-OF-WAY. THE CITY OF DAWSONVILLE IS RESPONSIBLE FOR CONSTRUCTION, FROM 186-2326.
20. NOTIFY CITY OF DAWSONVILLE INSPECTOR 72 HOURS BEFORE BEGINNING PHASE OF CONSTRUCTION.
21. ALL ZONING BUFFERS SHALL BE IDENTIFIED WITH ORANGE, FOUR-FOOT THREE-SAME FINDING PRIOR TO ANY LAND DISTURBANCE.
22. RETAINING WALL DESIGN MUST BE SUBMITTED TO THE CITY OF DAWSONVILLE FOR APPROVAL. ALL RETAINING WALLS SHALL BE CONSTRUCTED TO MEET ALL DESIGN REQUIREMENTS AND SHALL BE FINISHED AND GRADED TO MEET ALL DESIGN REQUIREMENTS. ALL WALLS GREATER THAN THIRTY (30) INCHES IN HEIGHT SHALL INCLUDE A FENCE OR HANDRAIL.
23. NO OVERNIGHT PARKING TO BE ALLOWED OUTSIDE OF BUILDING.
24. WORK HOURS SHALL BE BETWEEN THE HOURS OF 7:30 AM AND 5:00 PM LOCAL TIME AND 7:30 AM AND 5:00 PM LOCAL TIME ON SATURDAY. NO CONSTRUCTION WORK ON SUNDAY.
25. THE SITE IS CURRENTLY ZONED "RESTRICTED INDUSTRIAL" WITHIN THE CITY OF DAWSONVILLE.
26. INTERIOR CURB IS TO BE MAINTAINED PRIVATELY.
27. THE AREAS OF LAND DISTURBANCE ENCROACH INTO THE FLOOD ZONE "X" AREA. REFER TO SHEET 20 FOR THE FLOOD ZONE DESIGNATION.



LIGHTING NOTES

1. SITE LIGHTING NOT INCLUDED IN PLAN SET.
2. SITE LIGHTING TO BE DESIGNED BY OTHERS.
3. SITE LIGHTING TO BE PERMITTED THROUGH CITY OF DAWSONVILLE.

EXHIBIT "A"

AMP ASPHALT PAVING SYMBOLS LEGEND

[Symbol]	AMP ASPHALT PAVING
[Symbol]	ASPHALT CONCRETE
[Symbol]	CONCRETE
[Symbol]	GRAVEL
[Symbol]	GRAVEL WITH SAND
[Symbol]	SAND

CAUSEWAY ENCROACHMENTS TO BE SEPARATED FROM EXISTING TRAVEL BY SAFETY FENCE. ADDITIONAL THE SAFETY FENCE TO BE INSTALLED AS DIRECTED BY OWNER.

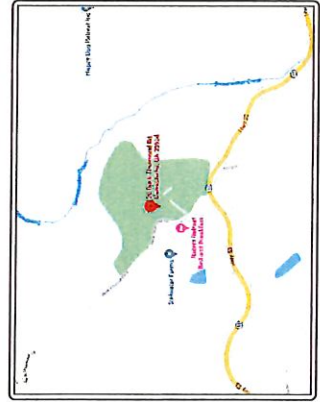




CIVILICISTIX
 500 SUN VALLEY DRIVE, STE H3, ROSWELL, GA 30076
 (404) 594-4103 - chlois@civilicistix.com

SITE PLAN: TURN 6 BUILDINGS
 AMP FUTURE IMPROVEMENTS
 20 DUCK TURN RD
 DAWSONVILLE, GA 30534

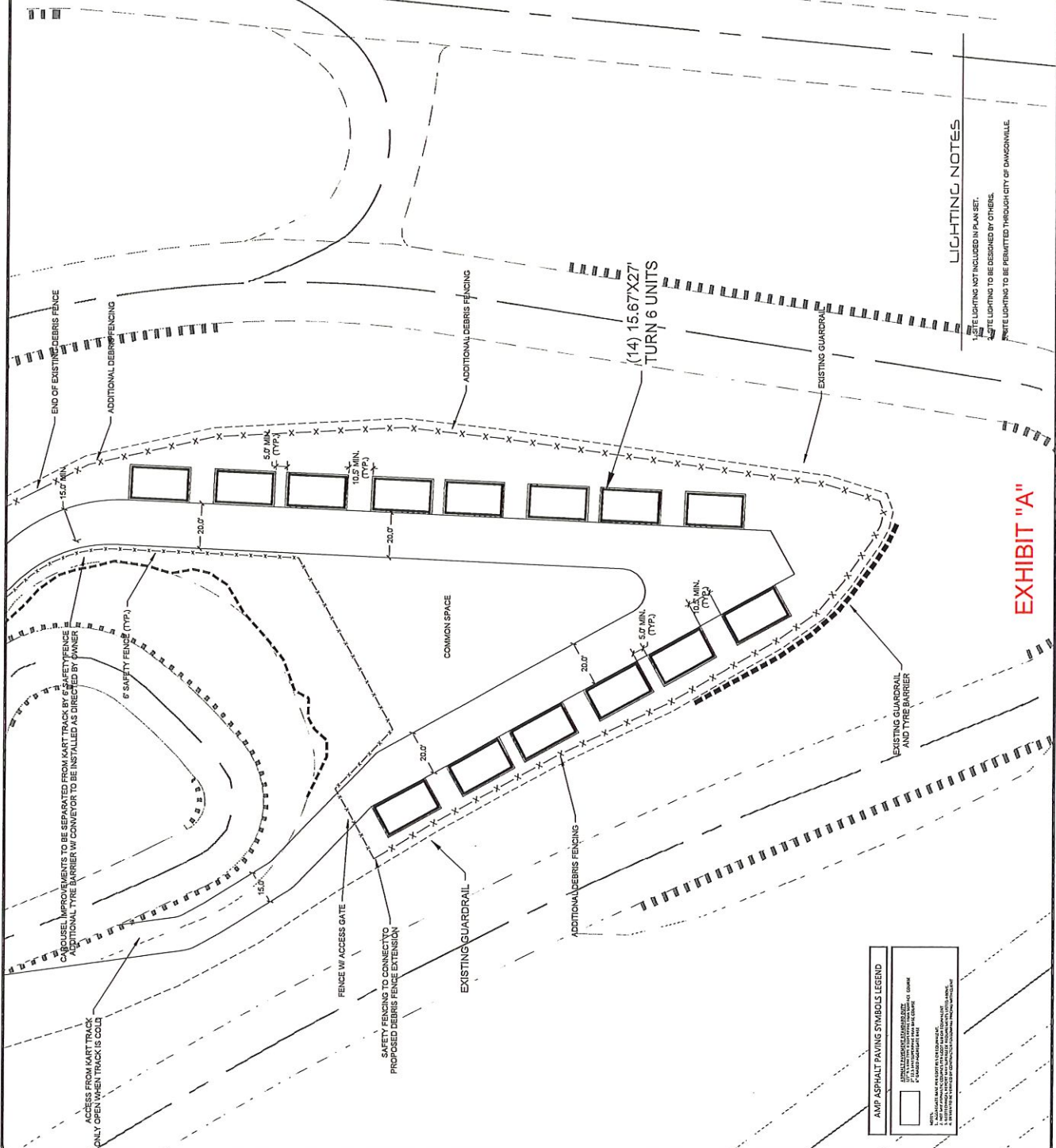
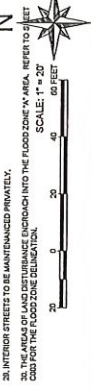
C202.9
 21320
 OCTOBER 31, 2022
 REVISIONS:
 04-27-23
 05-30-23



GENERAL NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF DAWSONVILLE, STATE OF GA REGULATIONS AND CODES, AS WELL AS ALL O.C.H.A. STANDARDS.
2. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY DATED 06-20-20, CONDUCTED BY CIVILICISTIX, INC., 500 SUN VALLEY DRIVE, STE H3, LAWRENCEVILLE, GA 30046, DATED 03-19, REVISED 03-20, 01-20-21.
3. ACCORDING TO INITIAL DEVELOPMENT SURVEY PREPARED BY GRANT SHEPHERD & ASSOCIATES, DATED 06-20-20, PORTIONS OF THE SUBJECT PROPERTY OF THIS SURVEY HAS BEEN DESIGNATED AS FLOOD ZONE "V", WHICH IS INSIDE THE LIMITS OF THE 100 YEAR FLOOD ZONE. CONSULT TO FEDERAL "ZONE X", WHICH IS INSIDE THE LIMITS OF THE 100 YEAR FLOOD ZONE. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE "BASE" DIMENSIONS. FOR ACTUAL DIMENSIONS, SEE ARCHITECTURAL PLANS. DIMENSIONS TO CONC. CURB & CUTTER ARE TO FACE OF CONC.
4. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE "BASE" DIMENSIONS. FOR ACTUAL DIMENSIONS, SEE ARCHITECTURAL PLANS. DIMENSIONS TO CONC. CURB & CUTTER ARE TO FACE OF CONC.
5. SITE WORK CONTRACTOR IS RESPONSIBLE FOR WORK TO WITHIN 5' OF THE BUILDING.
6. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED, OR DEMOLISHED AS INDICATED ON THE PLANS AND IN THE SPECIFICATIONS.
7. CONTRACTOR IS TO NOTIFY CITY INSPECTORS 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
8. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS, INCLUDING GA DOT UTILITY ENCROACHMENT PERMIT.
9. ALL SIGNAGE SHALL COMPLY WITH THE CITY OF DAWSONVILLE ZONING ORDINANCE. A SEPARATE SIGN PERMIT IS REQUIRED.
10. CONSTRUCTION TRAILER USED ON-SITE SHALL BE PERMITTED THROUGH THE CITY OF DAWSONVILLE PLANNING AND ZONING DEPARTMENT.
11. ALL UTILITIES SHALL BE PROTECTED AND SHALL NOT BE PLACED IN REQUIRED RIGHT-OF-WAY, AND MUST BE STRENGTHENED WITHIN THE SITE. CONSTRUCTION EQUIPMENT SHALL NOT BE PLACED IN AREAS WHICH RESTRICT SIGN DISTANCE.
12. THE EXACT LOCATION OF HANDICAP RAMP(S) SHALL BE COORDINATED WITH THE ADA COMPLIANCE CONSULTANT AND SHALL BE SHOWN ON THE ARCHITECTURAL PLANS. APPLICABLE SIDEWALK, ACCESSIBLE ROUTE, AND SURFACE MATERIALS SHALL BE SHOWN ON THE ARCHITECTURAL PLANS.
13. ALL SIDEWALKS ARE TO BE INSTALLED PER ADA STANDARDS. SIDEWALKS TO HAVE MAX SLOPE OF 5% AND MAX CROSS SLOPE OF 2%.
14. CONTRACTOR SHALL NOTIFY ENGINEERS SHOULD ANY FIELD CONDITIONS BE NOTED THAT DIFFER FROM THE SURVEY.
15. SITE CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS INDICATING ALL CHANGES AND DEVIATIONS.
16. PROJECT LOCATION: 20 DUCK TURN RD CORNER OF HWY 42 AND DUCK TURN RD IN THE CITY OF DAWSONVILLE, DAWSON COUNTY, STATE OF GEORGIA.
17. ENGINEER: CIVILICISTIX, INC., 500 SUN VALLEY DRIVE, STE H3, LAWRENCEVILLE, GA 30046, PHONE: (404) 594-4103, CONTACT: JEREMY PORTER.
18. ENGINEER: CIVILICISTIX, LLC, 200 SUN VALLEY DRIVE, ROSWELL, GA 30076, PHONE: (404) 594-4103, CONTACT: DAVID WHITE, CIVILICISTIX.COM.
19. BUILDING LOCATION IS TO THE OUTSIDE FACE OF BLOCK. CONTRACTOR TO COORDINATE AND VERIFY EXACT BUILDING LOCATION & DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
20. IRRIGATION SYSTEMS ARE PROHIBITED ON ALL EXISTING AND PROPOSED CITY RIGHT-OF-WAY AND RIGHT-OF-WAY ENCROACHMENT. THE CITY SURVEY DEPARTMENT IS NOT RESPONSIBLE FOR THE DESIGN OF IRRIGATION SYSTEMS.
21. NO OTHER UTILITIES, FENCES, OR OTHER OBSTRUCTIONS MAY BE LOCATED WITHIN A DRAINAGE, WATER SERVICE OR ACCESS EASEMENT WITHOUT PRIOR APPROVAL BY THE CITY OF DAWSONVILLE. CONTRACTOR SHALL VERIFY ALL UTILITIES AND EASEMENTS PRIOR TO CONSTRUCTION.
22. ALL ZONING BUFFERES SHALL BE IDENTIFIED WITH CHANGES. FOUR-FEET TREE-SAVE FENCING PRIOR TO ANY LAND DISTURBANCE.
23. REPAIRING WALL DESIGN MUST BE SUBMITTED TO THE CITY OF DAWSONVILLE FOR APPROVAL. CONTRACTOR SHALL VERIFY ALL UTILITIES AND EASEMENTS PRIOR TO CONSTRUCTION. A PROFESSIONAL ENGINEER IN THE STATE OF GEORGIA SHALL BE REQUIRED TO DESIGN AND VERIFY ALL EASEMENTS THAT ARE NOT SPECIFICALLY IDENTIFIED ON THE SURVEY.
24. NO OVERNIGHT PARKING TO BE ALLOWED OUTSIDE OF BUILDING.
25. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DAWSONVILLE ZONING ORDINANCE AND ALL APPLICABLE STATE AND FEDERAL REGULATIONS.
26. THE SITE IS CURRENTLY ZONED "RESTRICTED INDUSTRIAL" WITHIN THE CITY OF DAWSONVILLE.
27. INTERIOR STREETS TO BE MAINTAINED PRIVATELY.
28. THE AREAS OF LAND DISTURBANCE ENCROACH INTO THE FLOOD ZONE "V" AREA. REFER TO SHEET C08 FOR THE FLOOD ZONE DELINEATION.

- LIGHTING NOTES**
1. SITE LIGHTING NOT INCLUDED IN PLAN SET.
 2. SITE LIGHTING TO BE DESIGNED BY OTHERS.
 3. EXTERIOR LIGHTING TO BE PERMITTED THROUGH CITY OF DAWSONVILLE.



AMP ASPHALT PAVING SYMBOLS LEGEND

[Symbol]	AMP ASPHALT PAVING SYMBOLS LEGEND
[Symbol]	REINFORCED ASPHALT PAVING
[Symbol]	UNREINFORCED ASPHALT PAVING
[Symbol]	CONCRETE PAVING
[Symbol]	GRAVEL PAVING
[Symbol]	GRASS
[Symbol]	WOOD PAVEMENT
[Symbol]	WATER
[Symbol]	UTILITY
[Symbol]	EXISTING CONSTRUCTION
[Symbol]	PROPOSED CONSTRUCTION

EXHIBIT "A"

AMP ASPHALT PAVING SYMBOLS LEGEND

[Symbol]	ASPHALT PAVING
[Symbol]	CONCRETE PAVING
[Symbol]	GRAVEL
[Symbol]	GRAVEL WITH CURB
[Symbol]	GRAVEL WITH CURB AND GUTTER
[Symbol]	GRAVEL WITH CURB AND GUTTER AND SAND
[Symbol]	GRAVEL WITH CURB AND GUTTER AND SAND AND ASPHALT
[Symbol]	GRAVEL WITH CURB AND GUTTER AND SAND AND ASPHALT AND SAND
[Symbol]	GRAVEL WITH CURB AND GUTTER AND SAND AND ASPHALT AND SAND AND ASPHALT

EXHIBIT "A"

- LIGHTING NOTES**
- SITE LIGHTING NOT INCLUDED IN PLAN SET.
 - SITE LIGHTING TO BE DECIDED BY OTHERS.
 - SITE LIGHTING TO BE PERMITTED THROUGH CITY OF DAWSONVILLE.

2 STORY CONDOS
FOOTPRINT: 14720 SF
32'X20' UNITS
TOTAL AREA: 29440 SF

ELEVATED PAVING
135,190 SF

GARAGE BUILDINGS

CONFERENCE CENTER



GENERAL NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF DAWSONVILLE, STATE OF GA.
- SITE SURVEY SHALL BE CONDUCTED BY A LICENSED SURVEYOR IN THE STATE OF GEORGIA.
- GRANT SHEPHERD & ASSOCIATES, ADDRESS: 730 LONLEY BLVD, SUITE A, LAWRENCEVILLE, GA 30046, DATED 03-26-16, REVISED 03-01-17, 01-26-17.
- ACCORDING TO INITIAL DEVELOPMENT SURVEY PREPARED BY GRANT SHEPHERD & ASSOCIATES, THERE IS A FLOOD HAZARD ZONE WITHIN THE PROJECT AREA WHICH HAS BEEN FOUND TO RESIDE IN ZONE "A", WHICH IS INSIDE THE LIMITS OF THE 100 YEAR FLOOD ZONE.
- BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE "GROSS" DIMENSIONS. FOR ACTUAL ARCHITECTURAL PLANS, DIMENSIONS TO CONC. CURB & GUTTER ARE TO BE USED.
- SITE WORK CONTRACTOR IS RESPONSIBLE FOR WORK TO MATCH C&G OF THE BUILDING.
- BEFORE SETTING PERMITS, CONSTRUCTION LIMITS ARE TO BE AS SHOWN, REMOVED, OR RELOCATED AS INDICATED ON THE PLANS AND IN THE SPECIFICATIONS.
- CONTRACTOR IS TO NOTIFY CITY INSPECTORS 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS, INCLUDING A DOT UTILITY ENCROACHMENT PERMIT.
- ALL SIGNAGE SHALL COMPLY WITH THE CITY OF DAWSONVILLE ZONING ORDINANCE. A SEPARATE SIGN PERMIT IS REQUIRED.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF DAWSONVILLE PLANNING AND ZONING DEPARTMENT.
- CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN RECREATION AREAS, AND MUST BE STORED WITHIN THE SITE. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN AREAS WHICH RESTRICT SIGHT DISTANCE.
- THE EXACT LOCATION OF HANDICAP RAMP(S) SHALL BE COORDINATED WITH THE APPLICABLE ADA COMPLIANCE ROUTE, ACCESSIBLE ROUTE, AND ENTRANCE DRIVES.
- ALL SIDEWALKS ARE TO BE INSTALLED PER ADA STANDARDS. SIDEWALKS TO HAVE MAX SLOPE OF 5% AND MAX CROSS SLOPE OF 2%.
- CONTRACTOR SHALL NOTIFY ENGINEER SHOULD ANY FIELD CONDITIONS BE NOTED THAT DIFFER FROM THE SURVEY.
- SITE CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS INDICATING ALL CHANGES AND REVISIONS TO THE ORIGINAL DRAWINGS.
- PROJECT LOCATION: 20 DUCK TURN ROAD, CORNER OF HWY 52 AND DUCK TURN ROAD, IN THE CITY OF DAWSONVILLE, DAWSON COUNTY, STATE OF GEORGIA.
- OWNER'S INFORMATION: SHEPHERD & ASSOCIATES, 730 LONLEY BLVD, LAWRENCEVILLE, GA 30046, PHONE (678) 833-3426, CONTACT: SHEPHERD & ASSOCIATES.
- ENGINEER: CIVILISTIC, LLC, 500 SUN VALLEY DRIVE, ROSWELL, GA 30076, PHONE (404) 584-4400, CONTACT: DAVID WHITE, CIVILISTIC.COM.
- BUILDING LOCATION IS TO THE OUTSIDE FACE OF FACE. CONTRACTOR TO COORDINATE AND VERIFY EXACT BUILDING LOCATION. DIMENSIONS WITH ARCHITECTURAL DRAWINGS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY ORDINANCES AND SHALL BE CONSIDERED TO BE A VIOLATION OF THE CITY ORDINANCE PROHIBITING UNLIMITED RIGHT-OF-WAY ENCROACHMENTS.
- NO STRUCTURES, FENCES, OR OTHER OBSTRUCTIONS MAY BE LOCATED WITHIN A DRAINAGE DISTRICT OR FLOOD HAZARD ZONE.
- NOTIFY CITY OF DAWSONVILLE INSPECTOR 72 HOURS BEFORE BEGINNING PHASE OF CONSTRUCTION, PER 360-20-206.
- ALL ZONING BUFFERS SHALL BE IDENTIFIED WITH ORANGE, FOUR-FOOT TREE-SAVE FENCING PRIOR TO ANY LAND DISTURBANCE.
- RETAINING WALL DESIGN MUST BE SUBMITTED TO THE CITY OF DAWSONVILLE FOR APPROVAL. ALL RETAINING WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL CITY ORDINANCES AND SPECIFICATIONS THAT ARE SITE SPECIFIC AND MUST BE ENGINEERED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER. ALL WALLS GREATER THAN THIRTY (30) INCHES IN HEIGHT SHALL INCLUDE A FENCE OR HANDRAIL.
- NO OVERNIGHT PARKING TO BE ALLOWED OUTSIDE OF BUILDING.
- WORK HOURS SHALL BE BETWEEN THE HOURS OF 7:30 AM AND 5:00 PM MONDAY-FRIDAY AND 8:30 AM AND 5:00 PM SATURDAY, NO CONSTRUCTION WORK ON SUNDAY.
- THE SITE ENCROACHES IN AREA OF FLOOD HAZARD OR FLOOD ZONE "A" BASED ON MAP NUMBER TABS/STATE OPERATING ON 500018.
- THE SITE IS CURRENTLY ZONED "RESTRICTED INDUSTRIAL" WITHIN THE CITY OF DAWSONVILLE.
- INTERIOR STREETS TO BE MAINTAINED PRIVATELY.
- THE AREA OF LAND DISTURBANCE ENCROACH INTO THE FLOOD ZONE "A" AREA. REFER TO OFFSET GRID FOR THE FLOOD ZONE Delineation.



C202.12
21320
OCTOBER 31, 2022
 CIVILISTIC, LLC
 02-09-23

CIVILISTIC
 500 SUN VALLEY DRIVE, STE H3, ROSWELL, GA 30076
 (404) 594-4103 - CIVILISTIC.COM

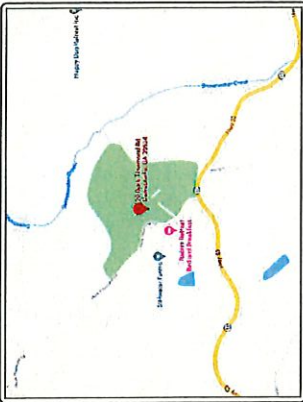
SITE PLAN, ELEVATED PT LANE CONDOS - NORTH
 AMP FUTURE IMPROVEMENTS
 20 DUCK TURN ROAD
 DAWSONVILLE, GA 30534

2022 CIVILISTIC, LLC
 ALL RIGHTS RESERVED
 THIS DOCUMENT IS THE PROPERTY OF CIVILISTIC, LLC AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CIVILISTIC, LLC.

AMP ASPHALT PAVING SYMBOLS LEGEND

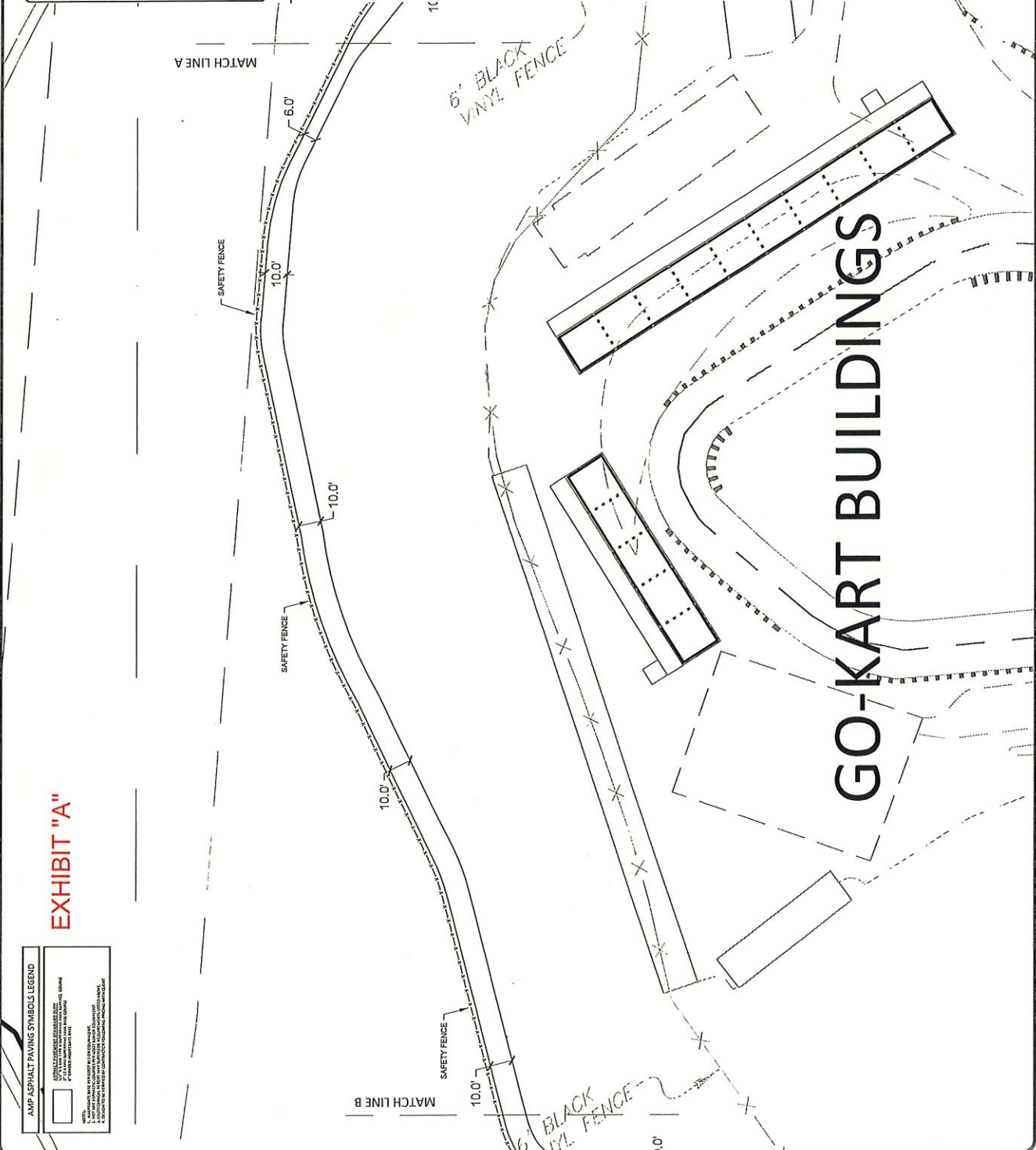
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EXHIBIT "A"



GENERAL NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF DAWSONVILLE, STATE OF GA REGULATIONS AND CODES, AS WELL AS ALL LOCAL ORDINANCES.
2. THE SURVEY WAS CONDUCTED BY GRANT SHEPHERD & ASSOCIATES, ADDRESS 7202 LONGVIEW BLVD, SUITE 101, LAWRENCEVILLE, GA 30046, DATED 03-28-15, REVISED 03-30-15; 01-28-17.
3. ACCORDING TO INITIAL DEVELOPMENT SURVEY PREPARED BY GRANT SHEPHERD & ASSOCIATES, THE PROPERTY IS LOCATED WITHIN THE 100 YEAR FLOOD ZONE. THE FLOOD ZONE HAS BEEN FOUND TO RESIDE IN "ZONE A", WHICH IS INSIDE THE LIMITS OF THE 100 YEAR FLOOD ZONE.
4. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE "LEASE DIMENSIONS". FOR ACTUAL ARCHITECTURAL PLANS, DIMENSIONS TO CONC. CURB & GUTTER ARE TO FACE OF CURB.
5. SITE WORK CONTRACTOR IS RESPONSIBLE FOR WORK TO WITHIN SFP OF THE BUILDING.
6. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE MAINTAINED, REMOVED, OR RELOCATED AS INDICATED ON THE PLANS AND IN THE SPECIFICATIONS.
7. CONTRACTOR IS TO NOTIFY CITY INSPECTORS 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
8. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS, INCLUDING A DOT UTILITY ENCROACHMENT PERMIT.
9. ALL SIGNAGE SHALL COMPLY WITH THE CITY OF DAWSONVILLE ZONING ORDINANCE. A SEPARATE SIGN PERMIT IS REQUIRED.
10. ALL WORK SHALL BE PERMITTED THROUGH THE CITY OF DAWSONVILLE PLANNING AND ZONING DEPARTMENT.
11. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN REQUIRED BUFFER ZONE, AND MUST BE STORED WITHIN THE SITE. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN AREAS WHICH RESTRICT SIGHT DISTANCE.
12. THE EXACT LOCATION OF MANHOLE RAMP SHALL BE COORDINATED WITH THE APPLICABLE JURISDICTION, ACCESSIBLE ROUTE, AND ENTRANCE DRIVES.
13. ALL SIDEWALKS ARE TO BE INSTALLED PER ADA STANDARDS. SIDEWALKS TO HAVE MAX SLOPE OF 5% AND MAX CROSS SLOPE OF 2%.
14. CONTRACTOR SHALL NOTIFY ENGINEER SHOULD ANY FIELD CONDITIONS BE NOTED THAT DIFFER FROM THE SURVEY.
15. THE CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS INDICATING ALL CHANGES AND UTILITY LOCATIONS TO THE CITY OF DAWSONVILLE.
16. PROJECT LOCATION: 20 DUCK TURNOUND RD, CORNER OF HWY 42 AND DUCK TURNOUND ROAD, IN THE CITY OF DAWSONVILLE, DAWSON COUNTY, STATE OF GEORGIA.
17. OWNER'S INFORMATION: BREWERY PORTER, 20 DUCK TURNOUND RD, DAWSONVILLE, GA 30024, PHONE (604) 333-3333, CONTACT: BREWERY PORTER.
18. ENGINEER: CIVILOGISTIX, LLC, 500 SUN VALLEY DRIVE, ROSWELL, GA 30076, PHONE (404) 594-4400, CONTACT: DAVID WHITE, CIVILOGISTIX.COM.
19. BUILDING LOCATION IS TO THE OUTSIDE FACE OF BLOCK. CONTRACTOR TO COORDINATE AND VERIFY EXACT BUILDING LOCATION + DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
20. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE DRIVEWAY AND DRIVEWAY RIGHT-OF-WAY ENCROACHMENT.
21. NO STRUCTURES, FENCES, OR OTHER OBSTRUCTIONS MAY BE LOCATED WITHIN A DRIVEWAY BUFFER ZONE OF THE CITY OF DAWSONVILLE.
22. NOTIFY CITY OF DAWSONVILLE INSPECTORS 72 HOURS BEFORE BEGINNING PHASE OF CONSTRUCTION, (706) 362-2626.
23. ALL ZONING BUFFERS SHALL BE IDENTIFIED WITH ORANGE, FOUR-FOOT TREE-SAFE FENCING PRIOR TO ANY LAND DISTURBANCE.
24. ALL SITE WORK SHALL BE SUBMITTED TO THE CITY OF DAWSONVILLE FOR APPROVAL. THE CITY OF DAWSONVILLE WILL CONDUCT VISUAL INSPECTIONS AND SHALL BE ADVISED BY A REGISTERED PROFESSIONAL ENGINEER THAT THE SITE SPECIFIC AND MEET THE PERMITS AND ZONING REGULATIONS. ALL PERMITS SHALL INCLUDE A FENCE OR RAILROAD.
25. NO OVERNIGHT PARKING TO BE ALLOWED OUTSIDE OF BUILDINGS.
26. WORK HOURS SHALL BE BETWEEN THE HOURS OF 7:30 AM AND DUCK TURNOUND ROAD AND 3:30 AM AND DUCK ON SATURDAY. NO CONSTRUCTION WORK ON SUNDAY.
27. THE SITE ENDS WHEREAS IN AREA OF FLOOD HAZARD OR FLOOD ZONE "X" BASED ON MAP NUMBER DISCUSSING SPECIFIC ON DRAWING.
28. THE SITE IS CURRENTLY ZONED "RESTRICTED INDUSTRIAL" WITHIN THE CITY OF DAWSONVILLE.
29. INTERIOR STREETS TO BE MAINTAINED PRIVATELY.
30. THE AREA OF LAND DISTURBANCE ENDS WHEREAS INTO THE FLOOD ZONE "X" AREA. REFER TO SHEET 200 FOR THE FLOOD ZONE DELINEATION.



C203.2
21320
OCTOBER 31, 2022
 REVISIONS

SITE PLAN: GOLF CART PATH
 AMP FUTURE IMPROVEMENTS
 20 DUCK TURNOUND RD
 DAWSONVILLE, GA 30534

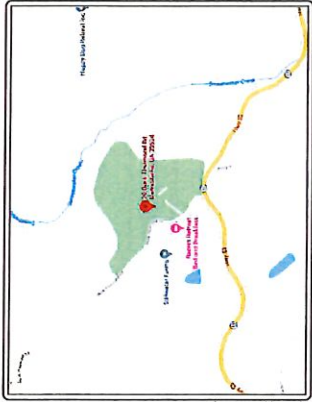
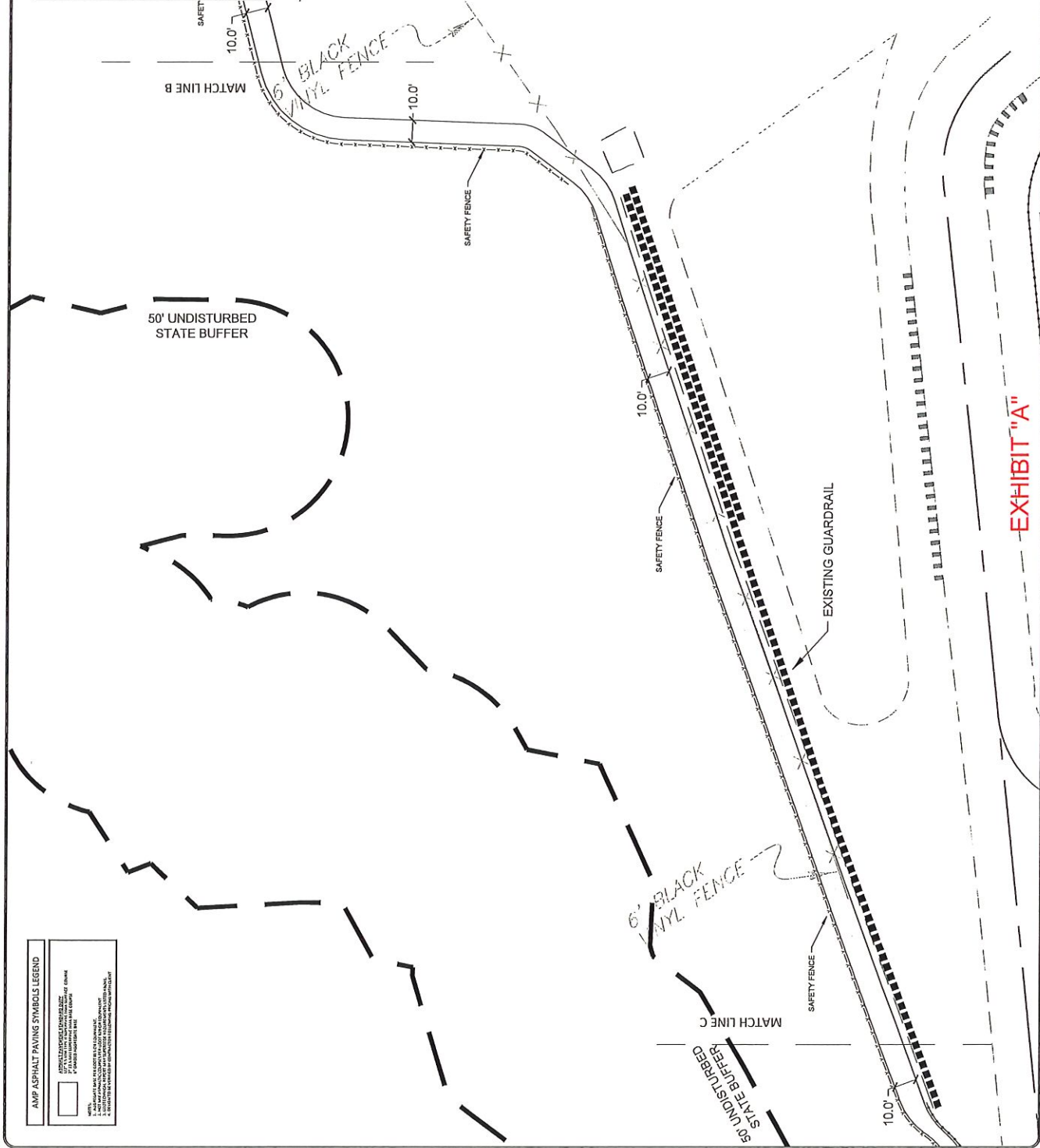
CIVILOGISTIX
 500 SUN VALLEY DRIVE, STE H3, ROSWELL, GA 30076
 (404) 594-4103 - CIVILOGISTIX.COM



AMP ASPHALT PAVING SYMBOLS LEGEND

[Symbol]	OPTIONAL PERFORATED ASPHALT PAVING
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NOTES:
 1. AMP ASPHALT PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF DAWSONVILLE ZONING ORDINANCE.
 2. PERFORATED ASPHALT PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF DAWSONVILLE ZONING ORDINANCE.
 3. PERFORATED ASPHALT PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF DAWSONVILLE ZONING ORDINANCE.



GENERAL NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF DAWSONVILLE, STATE OF GA REGULATIONS AND CODES, AS WELL AS ALL O.S.H.A. STANDARDS.
2. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY DATED 06-20-2018, SHALL BE USED FOR THE DESIGN OF THIS SITE.
3. ACCORDING TO INITIAL DEVELOPMENT SURVEY PREPARED BY GRANT SHERWOOD & ASSOCIATES, DATED 06-20-2018, PORTIONS OF THE SUBJECT PROPERTY OF THIS SURVEY HAS BEEN FOUND TO RESIDE IN "ZONE A", WHICH IS INSIDE THE LIMITS OF THE 100 YEAR FLOOD ZONE.
4. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE "LEAST DIMENSIONS". FOR ACTUAL DIMENSIONS, SEE ARCHITECTURAL PLANS. DIMENSIONS TO CORNER, CURB & OUTER ARE TO FACE OF CURB.
5. SITE WORK CONTRACTOR IS RESPONSIBLE FOR WORK TO WITHIN 5' OF THE BUILDING.
6. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED, OR RELOCATED AS INDICATED ON THE PANS AND IN THE SPECIFICATIONS.
7. CONTRACTOR SHALL NOTIFY CITY INSPECTORS 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
8. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS, INCLUDING A DOT UTILITY ENCROACHMENT PERMIT.
9. ALL SIGNAGE SHALL COMPLY WITH THE CITY OF DAWSONVILLE ZONING ORDINANCE. A SEPARATE SIGN PERMIT IS REQUIRED.
10. CONSTRUCTION TRAILER USED ON-SITE SHALL BE PERMITTED THROUGH THE CITY OF DAWSONVILLE PLANNING AND ZONING DEPARTMENT.
11. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN REQUIRED RIGHT-OF-WAY, AND ALL CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN AREAS WHICH RESTRICT SIGHT DISTANCE.
12. THE EXACT LOCATION OF HANDICAP RAMPS SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS AND SHALL BE PROVIDED AT THE INTERSECTIONS OF EACH ARCHITECTURAL DRIVEWAY, ACCESSIBLE PAVEMENT, AND ENTRANCE DRIVE.
13. ALL DRIVEWAYS, ACCESSIBLE PAVEMENT, AND ENTRANCE DRIVEWAYS TO HAVE MAX SLOPE OF 5% AND MAX CROSS SLOPE OF 2%.
14. CONTRACTOR SHALL NOTIFY ENGINEERS SHOULD ANY FIELD CONDITIONS BE NOTED THAT DIFFER FROM THE SURVEY.
15. SITE CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS INDICATING ALL CHANGES AND DEVIATIONS.
16. PROJECT LOCATION: 20 DUCK THURMOND RD CORNER OF HWY 10 AND DUCK THURMOND ROAD IN THE CITY OF DAWSONVILLE, DAWSON COUNTY, STATE OF GEORGIA.
17. ENGINEER: CIVILLOGICISTIX, LLC, 500 SUN VALLEY DRIVE, ROSWELL, GA 30076, PHONE (678) 594-4600, CONTACT: DAVID WHITE, CIVILLOGICISTIX.COM.
18. BUILDING LOCATION IS TO THE OUTSIDE FACE OF BLOCK. CONTRACTOR TO COORDINATE AND VERIFY EXACT BUILDING LOCATION & DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
19. IRRIGATION SYSTEMS ARE PROHIBITED ON ALL EXISTING AND PROPOSED CITY RIGHT-OF-WAY AND RIGHT-OF-WAY ENCROACHMENTS. THE CITY ORDINANCE PROHIBITING UNLIMITED WATER COVER OR ACCESS EXCEPT WITHOUT PRIOR APPROVAL BY THE CITY OF DAWSONVILLE.
20. NOTIFY CITY OF DAWSONVILLE INSPECTOR 24 HOURS BEFORE BEGINNING PHASE OF CONSTRUCTION.
21. ALL ZONING VIOLATIONS SHALL BE IDENTIFIED WITH CHANGE, FOUR-FOOT TIRE-SAFE FENCING PRIOR TO ANY LAND DISTURBANCE.
22. RETAINING WALL DESIGN SHALL BE SUBMITTED TO THE CITY OF DAWSONVILLE FOR APPROVAL. RETAINING WALL DESIGN SHALL BE SUBMITTED TO THE CITY OF DAWSONVILLE FOR APPROVAL. PROFESSIONAL ENGINEER IN THE STATE OF GEORGIA, ALL WALLS GREATER THAN THIRTY (30) INCHES HIGH SHALL BE SUBMITTED TO THE CITY OF DAWSONVILLE FOR APPROVAL.
23. NO OVERLIFT PARKING TO BE ALLOWED OUTSIDE OF BUILDING.
24. THE SITE ENCLOSED IN "AREA OF FLOOD HAZARD" OR FLOOD ZONE "X" BASED ON MAP NUMBER 130000095 EFFECTIVE ON 04/09/2018.
25. INTERIOR STREETS TO BE MAINTAINED PRIVATELY.
26. THE AREAS OF LAND DISTURBANCE ENDOUCH INTO THE FLOOD ZONE "X" AREA, REFER TO SHEET C00 FOR THE FLOOD ZONE DELINEATION.



EXHIBIT "A"

AMP ASPHALT PAVING SYMBOLS LEGEND

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48. AMP ASPHALT PAVING SYMBOLS LEGEND

49. AMP ASPHALT PAVING SYMBOLS LEGEND

50. AMP ASPHALT PAVING SYMBOLS LEGEND

FEMA MAP# 13085C0100B

FEMA MAP# 13085C0095B

PROPOSED GUARDRAIL

PROPOSED GUARDRAIL

PROPOSED GUARDRAIL

PROPOSED GUARDRAIL

PROPOSED GUARDRAIL

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PROPOSED GUARDRAIL

PROPOSED GUARDRAIL

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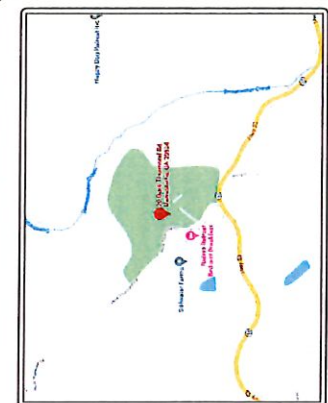
PROPOSED GUARDRAIL

PROPOSED GUARDRAIL

PROPOSED GUARDRAIL

PROPOSED GUARDRAIL

PROPOSED GUARDRAIL



GENERAL NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF DAWSONVILLE, STATE OF GA REGULATIONS AND CODES, AS WELL AS ALL O.S.H.A. STANDARDS.
2. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY DATED 02-20-15, CONDUCTED BY CIVILIOCLISTIX, 500 SUN VALLEY DRIVE, STE H3, ROSWELL, GA 30076. (404) 594-4403 - CIVILIOCLISTIX.COM
3. ACCORDING TO INITIAL DEVELOPMENT SURVEY PREPARED BY GRANT SUPERIOR & ASSOCIATES, DATED 02-20-15, THE SUBJECT PROPERTY OF THIS SURVEY HAS ASSOCIATED DATED 02-20-15, WHICH IS INSIDE THE LIMITS OF THE 100-YEAR FLOOD ZONE.
4. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE "LEASE" DIMENSIONS. FOR ACTUAL DIMENSIONS, SEE ARCHITECTURAL PLANS. DIMENSIONS TO CONC. CURB & GUTTER ARE TO FACE OF CURB.
5. SITE WORK CONTRACTOR IS RESPONSIBLE FOR WORK TO WITHIN 50' OF THE BUILDING. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED, OR DEMOLISHED ON THE PANS PRIOR TO THE START OF CONSTRUCTION.
6. CONTRACTOR IS TO NOTIFY CITY INSPECTORS 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
7. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS, INCLUDING GA DOT UTILITY ENCROACHMENT PERMIT.
8. ALL SIGNAGE SHALL COMPLY WITH THE CITY OF DAWSONVILLE ZONING ORDINANCE. A SEPARATE SIGN PERMIT IS REQUIRED.
9. CONSTRUCTION TRAILER USED ON-SITE SHALL BE PERMITTED THROUGH THE CITY OF DAWSONVILLE PLANNING AND ZONING DEPARTMENT.
10. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN REQUIRED RIGHT-OF-WAY, AND CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN AREAS WHICH RESTRICT SIGHT DISTANCE.
11. THE EXACT LOCATION OF HANDICAP RAMP SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS AND SHALL BE PROVIDED AT THE INTERSECTIONS OF EACH DRIVE (SLOPE: 1:12). SLOPE SHALL BE 1:12.
12. THE EXACT LOCATION OF ADA STANDARDS, SIDEWALKS TO HAVE MAX SLOPE OF 2% AND MAX CROSS SLOPE OF 2%.
13. CONTRACTOR SHALL NOTIFY ENGINEER SHOULD ANY FIELD CONDITIONS BE NOTICED THAT DIFFER FROM THE SURVEY.
14. CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS INDICATING ALL CHANGES AND DEVIATIONS.
15. PROJECT LOCATION: 20 DUCK TURNAROUND RD CORNER OF HWY 100 AND DUCK TURNAROUND RD, IN THE CITY OF DAWSONVILLE, DAWSON COUNTY, STATE OF GEORGIA.
16. ENGINEER: CIVILIOCLISTIX, 500 SUN VALLEY DRIVE, ROSWELL, GA 30076. PHONE: (404) 594-4403. CONTACT: DAVID WHITE, CIVILIOCLISTIX.COM.
17. BUILDING LOCATION IS TO THE OUTSIDE FACE OF BLOCK. CONTRACTOR TO COORDINATE AND VERIFY EXACT BUILDING LOCATION & DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
18. IRRIGATION SYSTEMS ARE PROHIBITED ON ALL EXISTING AND PROPOSED CITY RIGHT-OF-WAY AND RIGHT-OF-WAY ENCROACHMENTS. THE CITY ORDINANCE PROHIBITING UNLIMITED WATER COVER OR ACCESS CASUALTY WITHOUT PRIOR APPROVAL BY THE CITY OF DAWSONVILLE.
19. ALL ZONING VIOLATIONS SHALL BE IDENTIFIED WITH GAINAGE, FOUR-FOOT TIE-SAME FOUNDING PRIOR TO ANY LAND DISTURBANCE.
20. RETAINING WALL DESIGN MUST BE SUBMITTED TO THE CITY OF DAWSONVILLE FOR APPROVAL. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM PROFESSIONAL ENGINEER IN THE STATE OF GEORGIA. ALL WALLS GREATER THAN THIRTY (30) INCHES HIGH SHALL BE MAINTAINED PRIVATELY.
21. NO OBSTRUCTION PARKING TO BE ALLOWED OUTSIDE OF BUILDING.
22. THE SITE ENCROACHES IN "AREA OF FLOOD HAZARD OR FLOOD ZONE "X" BASED ON MAP NUMBER 13085C0095B EFFECTIVE ON 04/09/2018.
23. IN-TOWN PARKING TO BE MAINTAINED PRIVATELY.
24. THE AREAS OF LAND DISTURBANCE ENCROACH INTO THE FLOOD ZONE "X" AREA. REFER TO SHEET C00 FOR THE FLOOD ZONE DELINEATION.



EXHIBIT "A"

C203.5
21320
OCTOBER 31, 2022

SITE PLAN: GOLF CART PATH
AMP FUTURE IMPROVEMENTS
20 DUCK TURNAROUND RD
DAWSONVILLE, GA 30534

CIVILIOCLISTIX
500 SUN VALLEY DRIVE, STE H3, ROSWELL, GA 30076
(404) 594-4403 - CIVILIOCLISTIX.COM



MINUTES
CITY COUNCIL REGULAR MEETING
OCTOBER 1, 2007
7:30 P.M.

CALL THE MEETING TO ORDER: Mayor Cox called the meeting to order at 7:30 p.m.
ROLL CALL: Those present included Mayor Joe Lane Cox, Council Members Linda Grant, Mike Soabeke, and Jonathan Cox (Mike Wilson was absent); staff present were Kim Combs, Steve Holder, Gary Bell, and Dana Miles, City Attorney.

INOCUATION AND PLEDGE: Invocation was led by Steve Holder; Mayor Cox led the pledge of allegiance.

APPROVAL OF MINUTES:

Council unanimously approved the minutes from the regular meeting held September 10, 2007; motion by Soabeke, second by Grant.

NEW BUSINESS:

Proclamation Designation, October as National Down Syndrome Awareness Month. The goal is to raise awareness of Down Syndrome in the month of October as National Down Syndrome Awareness Month. It was presented by Mayor Cox after it was read by Kim Combs.

Executive Order: A resolution was presented by Mayor Cox after it was read by Kim Combs. The resolution was presented to the City Council for their approval. The resolution was presented to the City Council for their approval. The resolution was presented to the City Council for their approval.

OLD BUSINESS:

Zoning Amendment, ZM-02-1666: A rezoning application was presented by the applicant. The applicant requested a rezoning of the property from R-1 to R-2. The applicant requested a rezoning of the property from R-1 to R-2. The applicant requested a rezoning of the property from R-1 to R-2.

Public Hearing: A public hearing was held on the rezoning application. The applicant presented the application to the public hearing. The applicant presented the application to the public hearing. The applicant presented the application to the public hearing.

PUBLIC HEARINGS:

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MINUTES
CITY COUNCIL REGULAR MEETING
OCTOBER 1, 2007
7:30 P.M.

Upon receiving the plaque Mayor Cox stated that he is truly honored to be presented such a prestigious award. The plaque is a symbol of the City of Dawsonville's appreciation for the service and dedication of the great citizens of Dawsonville. The plaque is a symbol of the City of Dawsonville's appreciation for the service and dedication of the great citizens of Dawsonville.

ADJOURNMENT: Those being in Mayor Cox's business, Mike Soabeke made a motion to adjourn, seconded by Linda Grant. Meeting adjourned at 7:25 p.m.

Mayor Cox presented a plaque to the recipient. The recipient thanked Mayor Cox for the honor. The recipient thanked Mayor Cox for the honor. The recipient thanked Mayor Cox for the honor.

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EXHIBIT "B"

Sheet 2

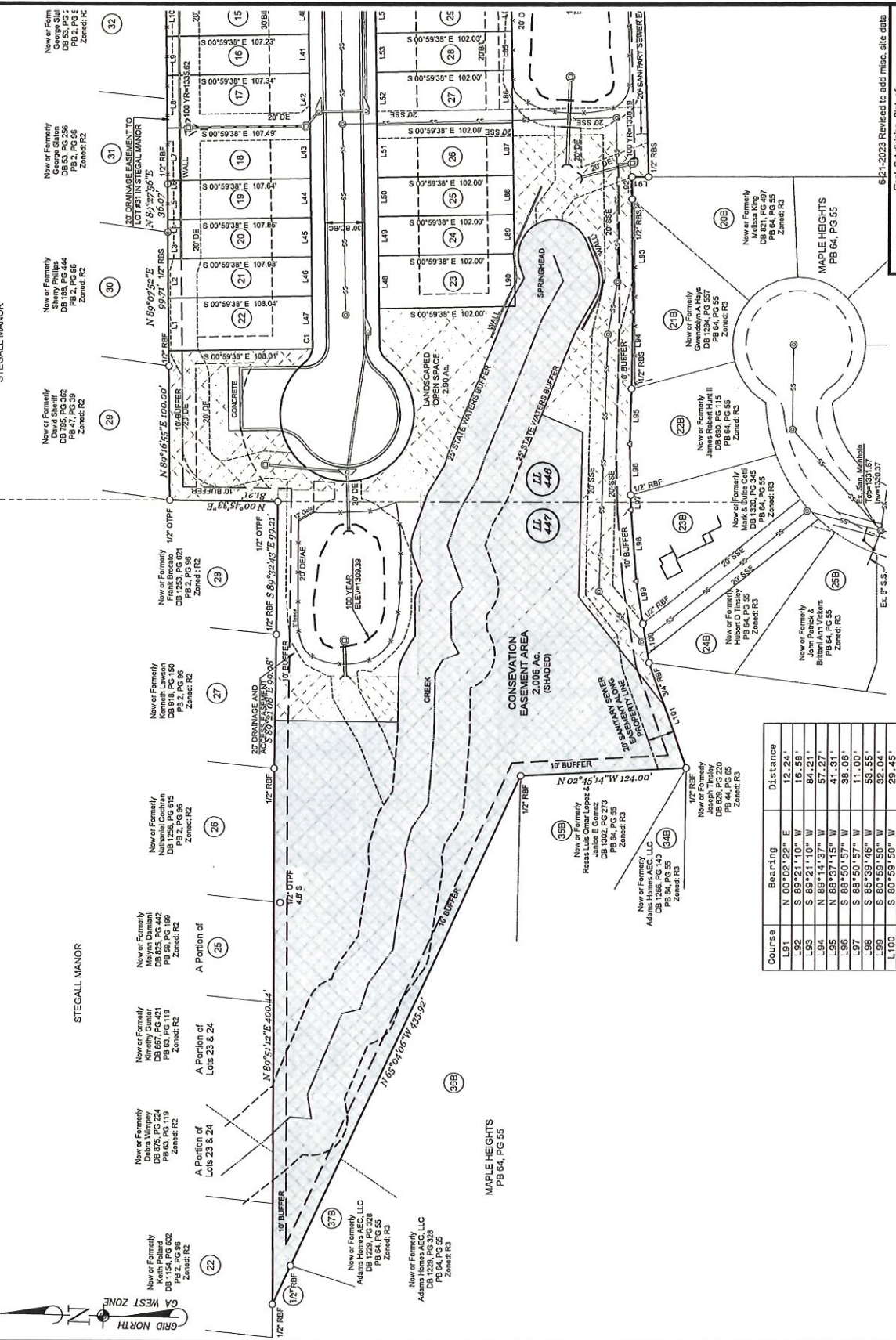
6-21-2023 Revised to add misc. site data
Final Subdivision Plat of
SILVER LEAF
TOWNHOMES
Land Lots 446 & 447, 4th District, 1st Section
City of Dawsonville, Dawson County, Georgia
11-11-2022

McWhorter & Anderson
LAND SURVEYING & CIVIL ENGINEERING
416 Pride Ferry Road
Spring Hill, GA 30420
Cumming, GA 30040
(770) 889-9430
www.mga-se.com
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FILE: 11841FP

STEGALL MANOR

STEGALL MANOR

MAPLE HEIGHTS
PG 64, PG 55



Course	Bearing	Distance
L91	N 00°02'22" E	12.24'
L92	S 89°21'10" W	16.58'
L93	S 89°21'10" W	84.21'
L94	N 89°14'37" W	57.27'
L95	N 88°37'15" W	41.31'
L96	S 88°50'57" W	38.06'
L97	S 88°50'57" W	11.00'
L98	S 85°39'46" W	53.55'
L99	S 60°59'50" W	32.04'
L100	S 60°59'50" W	29.45'
L101	S 70°08'12" W	83.53'

LEGEND

OTPF	Open Top	Pin Found
CTPS	Crump	Top Pin SA
RFB	Rebar Found	Rebar Found
B/L	Building Foot	Building Foot
U/P	Utility Pole	Utility Pole
N or F	New or Formerly	Overhead Wire
—	Not to Scale	Overhead Wire
Δ	Constructed Point	Constructed Point



EXHIBIT "B"

sheet 4

Final Subdivision Plat of
SILVER LEAF
TOWNHOMES
Land Lots 446 & 447, 4th District, 1st Section
City of Cowson, Cowson County, Georgia
11-11-2022

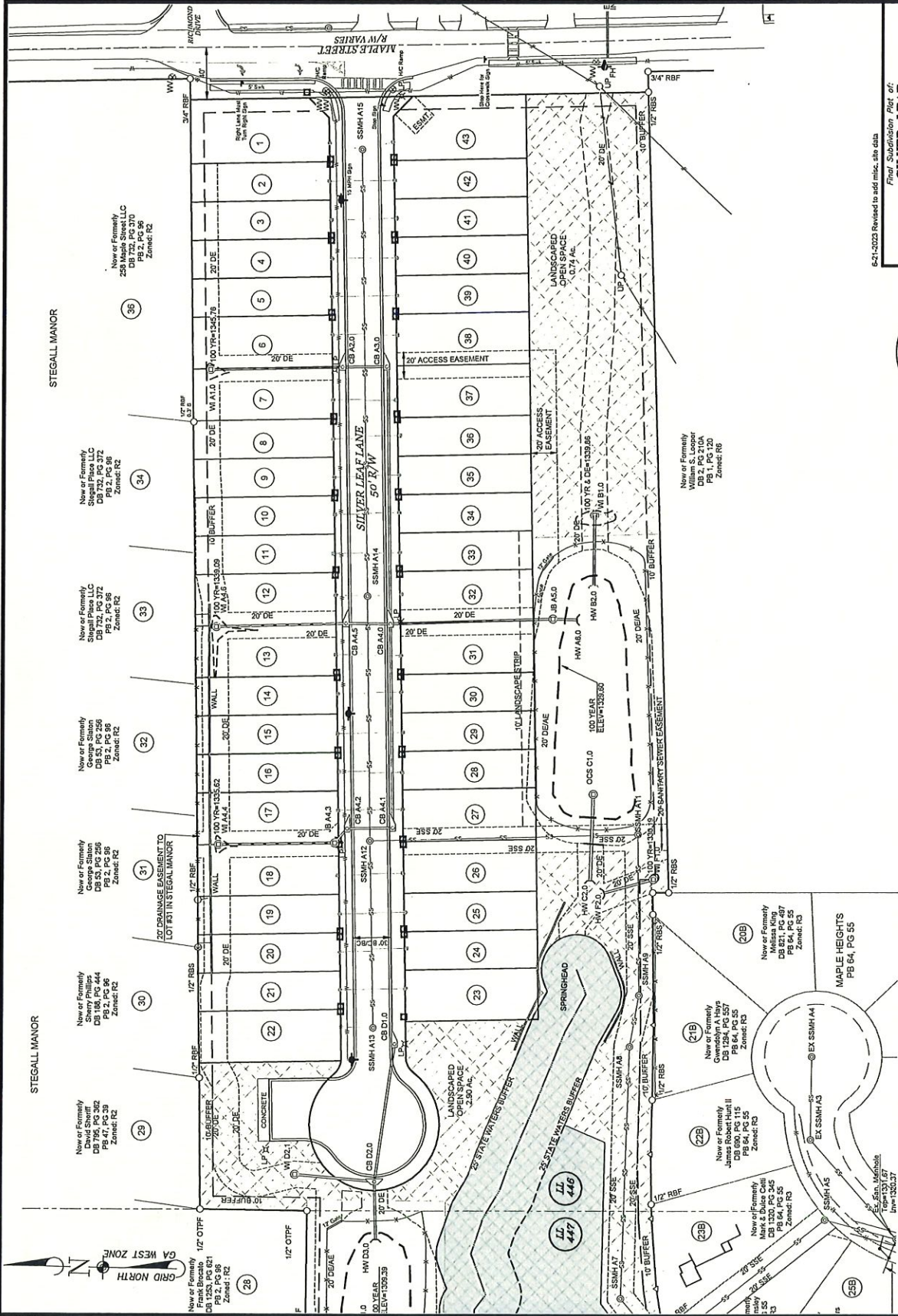
418 Pridle Ferry Road
Cumming, GA 30040
(770) 885-5430
www.mga-se.com
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Micwhorter & Anderson
LAND SURVEYING &
CIVIL ENGINEERING

FILE: 1194



6-21-2023 Revised to add misc. site data



Final Subdivision Plat of
SILVER LEAF TOWNHOMES
 Land Lots 446 & 447, 4th District, 1st Section
 City of Dawsonville, Dawson County, Georgia
 11-11-2022

416 Pickett Ferry Road
 Building H, Unit 300
 Cumming, GA 30040
 www.mga-se.com
 (770) 885-9430
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 FILE: 11941FP

Mcwhorter & Anderson
 LAND SURVEYING &
 CIVIL ENGINEERING

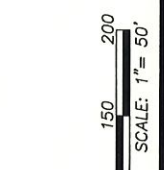


sheet 5

SIGHT DISTANCE CERTIFICATION
 THE DRIVE SHOWN ON THIS PLAN FOR SILVER LEAF TOWNHOMES
 IS IN ACCORDANCE WITH THE POLICY ON GEOMETRIC DESIGN
 OF HIGHWAY AND STREET INTERSECTIONS, LATEST EDITION, THE POSTED SPEED LIMIT IS 25
 MPH. THE REQUIRED SIGHT DISTANCE IS 387'. SIGHT DISTANCE
 PROVIDED IS 428'.

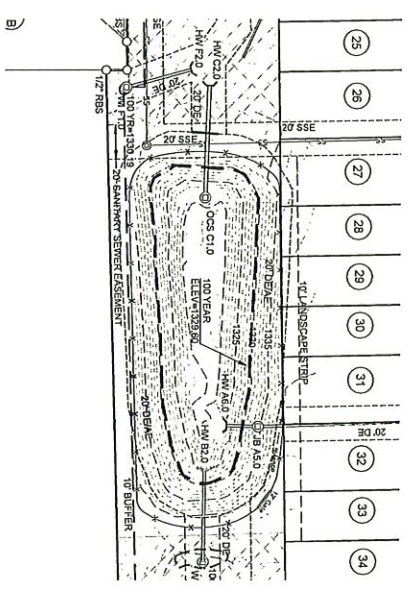
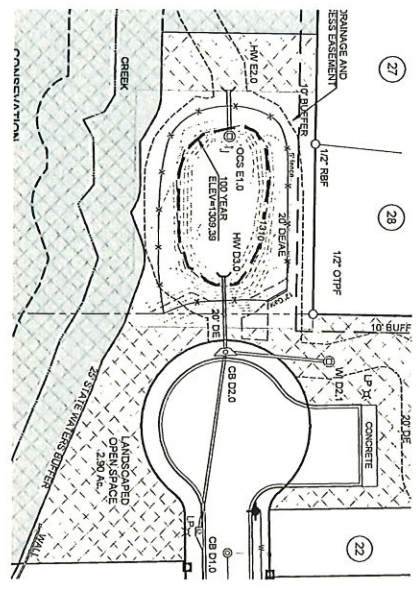
Neil E. McWhorter
 NEIL E. MCWHORTER, R.SURBER

EXHIBIT "B"



LEGEND

OTPF	Open Top	Pin	Found
CTPF	Crump	Top	Pin
RF	Rebar	Found	
B/L	Building	Found	
UP	Utility	Pole	
N	New	or	Found
F	Found		
—	Overhead	Wire	
—	Underground	Wire	
△	Calculated	Point	



LEGEND

OTPF	Open Top Pin Found
CTPF	Clamp Top Pin Found
RPF	Rebar Pin Found
RSS	Rebar Set
U/P	Utility Pin
N or F	Now or Formerly
○	Overhead Wire
○	Fence
○	Not to Scale
○	Calculated Point

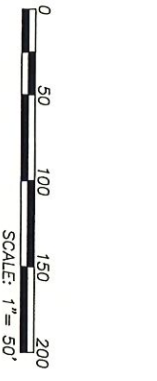
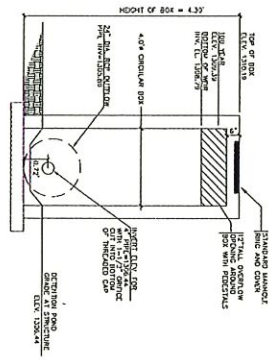


EXHIBIT "B"

Pond Report

Project Name: 15 - Ashby Road C-2
 Project No.: 15-0001
 Date: 11/11/2022

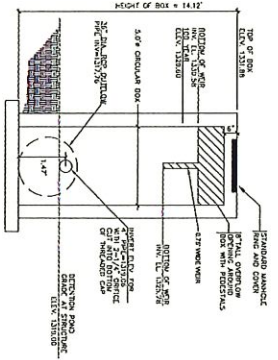
Flow (cfs)	Water Surface Elevation (ft)	Outlet Pipe Diameter (in)	Outlet Pipe Length (ft)	Outlet Pipe Slope	Outlet Pipe Material
1.0	110.0	18	100	0.01	Concrete
2.0	110.0	18	100	0.01	Concrete
3.0	110.0	18	100	0.01	Concrete
4.0	110.0	18	100	0.01	Concrete
5.0	110.0	18	100	0.01	Concrete
6.0	110.0	18	100	0.01	Concrete
7.0	110.0	18	100	0.01	Concrete
8.0	110.0	18	100	0.01	Concrete
9.0	110.0	18	100	0.01	Concrete
10.0	110.0	18	100	0.01	Concrete



Pond Report

Project Name: 15 - Ashby Road C-2
 Project No.: 15-0001
 Date: 11/11/2022

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1.0	110.0	18	100	0.01	Concrete
2.0	110.0	18	100	0.01	Concrete
3.0	110.0	18	100	0.01	Concrete
4.0	110.0	18	100	0.01	Concrete
5.0	110.0	18	100	0.01	Concrete
6.0	110.0	18	100	0.01	Concrete
7.0	110.0	18	100	0.01	Concrete
8.0	110.0	18	100	0.01	Concrete
9.0	110.0	18	100	0.01	Concrete
10.0	110.0	18	100	0.01	Concrete



Sheet 7



6-21-2023 Revised to add misc. site data

Neil A. McWhorter
 State of Georgia
 Professional Engineer
 No. 2644

McWhorter & Anderson
 LAND SURVEYING & CIVIL ENGINEERING

416 Phileas Ferry Road
 Building H, Unit 300
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 (770) 885-8430
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 O.K.E.O., Inc. 2022
 FILE: 1194.FIP

Land Lots 446 & 447, 4th District, 1st Section
 City of Dawsonville, Dawson County, Georgia
 11-1-2022

